



REPORT TO PLANNING COMMITTEE

12th February 2020

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| Application Reference | DC/19/63682 |
| Application Received | 17 th December 2019 |
| Application Description | Proposed demolition of 3 existing bungalows on Albion Road and replace with 2 No. bungalows, and proposed 2 No. 4 bed houses and 1 No. 2 bed bungalow on land adjacent to 154 Bull Lane. |
| Application Address | 4-6 Albion Road & Land Adjacent 154 Bull Lane West Bromwich |
| Applicant | Mr Mark Drake – Sandwell MBC |
| Ward | Greets Green & Lyng |
| Contribution towards Vision 2030: |   |
| Contact Officer(s) | William Stevens 0121 569 4897 William_stevens@sandwell.gov.uk |

RECOMMENDATION

Subject to no adverse comments from the Council's planning and transportation policy and highways teams, planning permission is granted subject to;

- i) Finished floor levels;
- ii) External materials;
- iii) Hard and soft landscaping;
- iv) Drainage details; and
- v) Electric vehicle charging point infrastructure being installed.

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee because the applicant is Director of Housing.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The sites are unallocated but within a residential area.
- 2.2 The material planning considerations which are relevant to this application are:-

Government policy (NPPF),
Design, appearance and materials,
Layout and density of building,
Access, highway safety, and parking, and
Drainage.

3. THE APPLICATION SITE

- 3.1 The application site is split into two sites within a residential area. Industrial premises occupy the other side of Brandon Way, West Bromwich.
- 3.2 The northern site relates to a piece of open space adjacent to 154 Bull Lane, West Bromwich. The second site is to the south currently houses bungalows that will be demolished to make way for the proposals (point 5.1).

4. PLANNING HISTORY

- 4.1 There is no relevant planning history.

5. APPLICATION DETAILS

- 5.1 The applicant proposes the following:-
- Site on Albion Road - to demolish the three existing bungalows and replace with two bungalows.
 - Site on land adjacent to 154 Bull Lane - to construct two No. 4 bed houses and one No. 2 bed bungalow.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification letters without response.

7. STATUTORY CONSULTATION

- 7.1 Comments from Planning and Transportation Policy and Highways are awaited but will be provided at your meeting.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

- 9.1 The following policies of the Council's Local Plan are relevant:-

HOU1: Delivering sustainable Housing Growth

HOU2: Housing Density, Type and Accessibility

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV8: Air Quality

SAD EOS9: Urban Design Principles

SAD H2: Windfalls

- 9.2 HOU1 supports the requirement of the Council to provide new homes in Borough.
- 9.3 HOU2 advises that new housing schemes provide a mixture of different house types, and in an area close to public transport. It is my opinion, that this development complements the existing housing styles within the locality.
- 9.4 ENV3 and EOS9 seeks to achieve good design and refers to new developments being of appropriate scale and compatible with their surroundings. The proposal would provide a satisfactory residential development which follows the character of the area.
- 9.5 ENV5 seeks the incorporation of sustainable drainage systems to assist with reducing the impact of flooding and surface run-off. A drainage condition is recommended to address this.
- 9.6 H2 housing windfalls refers to unallocated site and states that they should be on previously developed land and housing being compatible to the surrounding area. The area is residential and the land to the south is previously developed hence this site is suitable for residential development.

10. MATERIAL CONSIDERATIONS

10.1 The material considerations relating to Government policy (NPPF) and proposals with the local plan have been referred to above in Sections 8 and 9. With regard to the other considerations these are highlighted below:

10.2 Layout and density of building

The proposed properties follow the same architectural style and building lines of the properties adjacent.

10.3 Design, appearance and materials

The proposal provides adequate garden and internal spaces. All external materials can be conditioned.

10.5 Access, highway safety, and parking

In the context of this area and the small-scale nature of the development, some on street parking (in this instance) is considered to be acceptable, however Highways comments are awaited and will be reported to your meeting.

10.6 Drainage

Drainage details are to be requested by condition to mitigate surface water flooding.

11. IMPLICATIONS FOR SANDWELL'S VISION

11.1 The proposal supports Ambitions 7 and 10 of the Sandwell Vision 2030:-

11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 Subject to no adverse comments from Highways or Planning and Transportation Policy, conditional approval is recommended. It is considered that the proposal complies with relevant design policies and

would provide good sized family homes which are compatible with the surroundings.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 The proposal is on Council owned land.

21. APPENDICES:

Site Plan

Context Plan

00 ZZ AP (04) S2

00 ZZ AP (92) S2

01 XX AP (05) S2

00 ZZ AP (05) 61 S2

00 ZZ AP (05) 62 S2

00 ZZ AP (05) 63 S2

01 00 AP (04) 02 S2

01 01 AP (04) 03 S2

02 XX AP (05) 02 S2

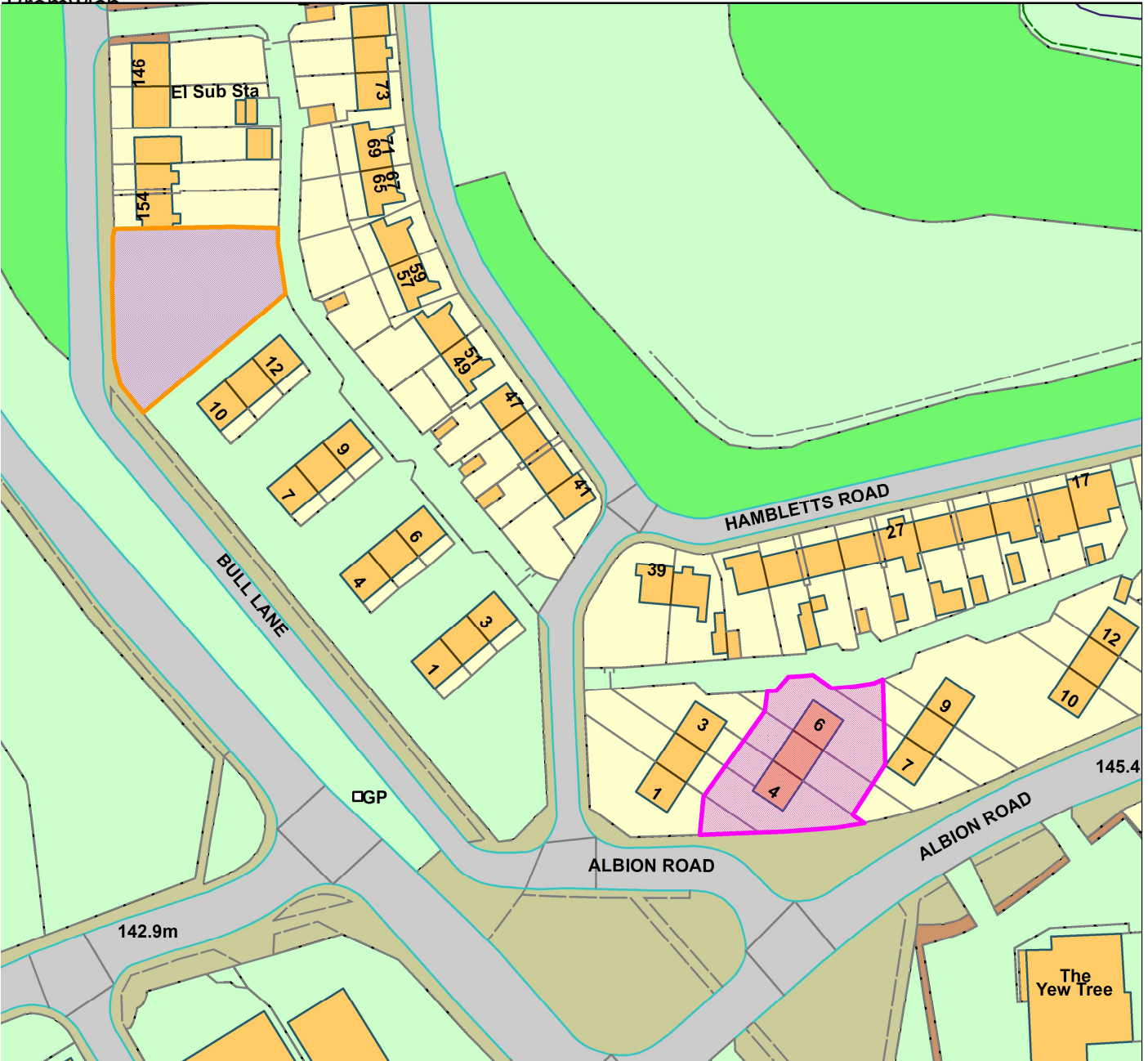
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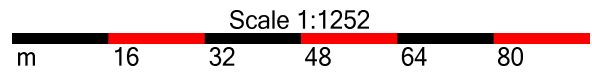
DC/19/63682

4-6 Albion Road & Land Adjacent 154 Bull Lane, West Bromwich



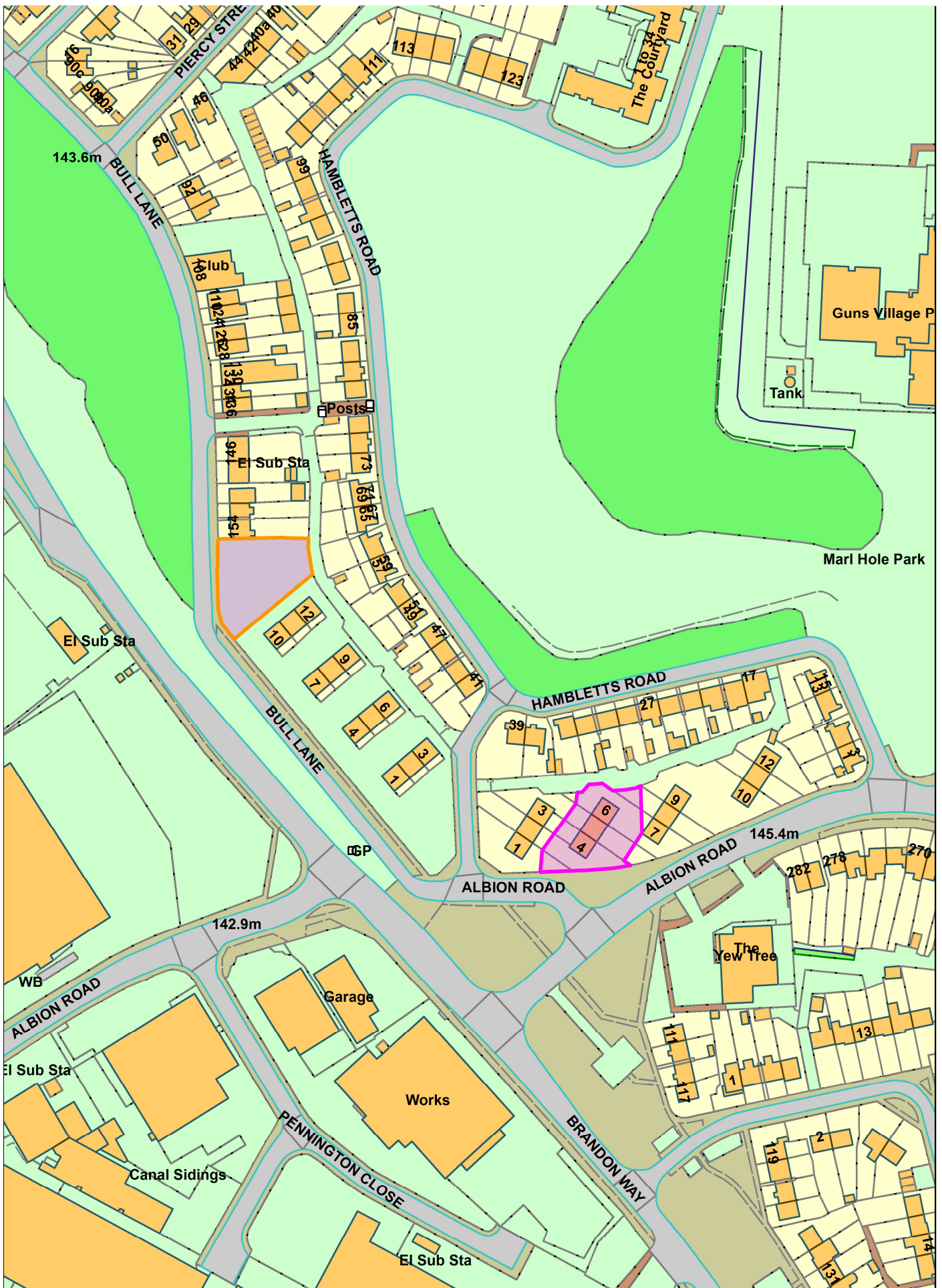
Legend

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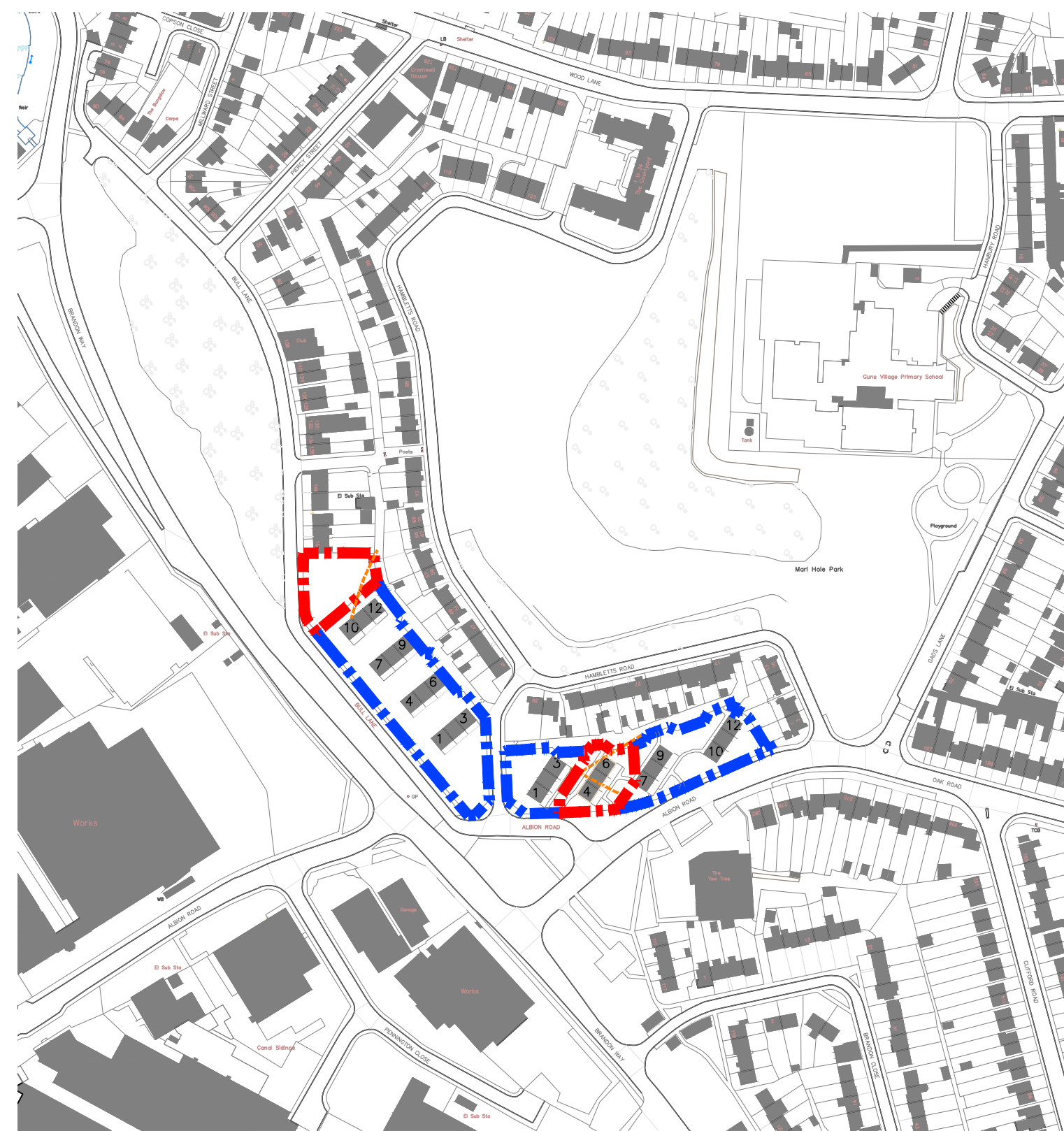
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| Department | Not Set |
| Comments | |
| Date | 29 January 2020 |
| OS Licence No | |



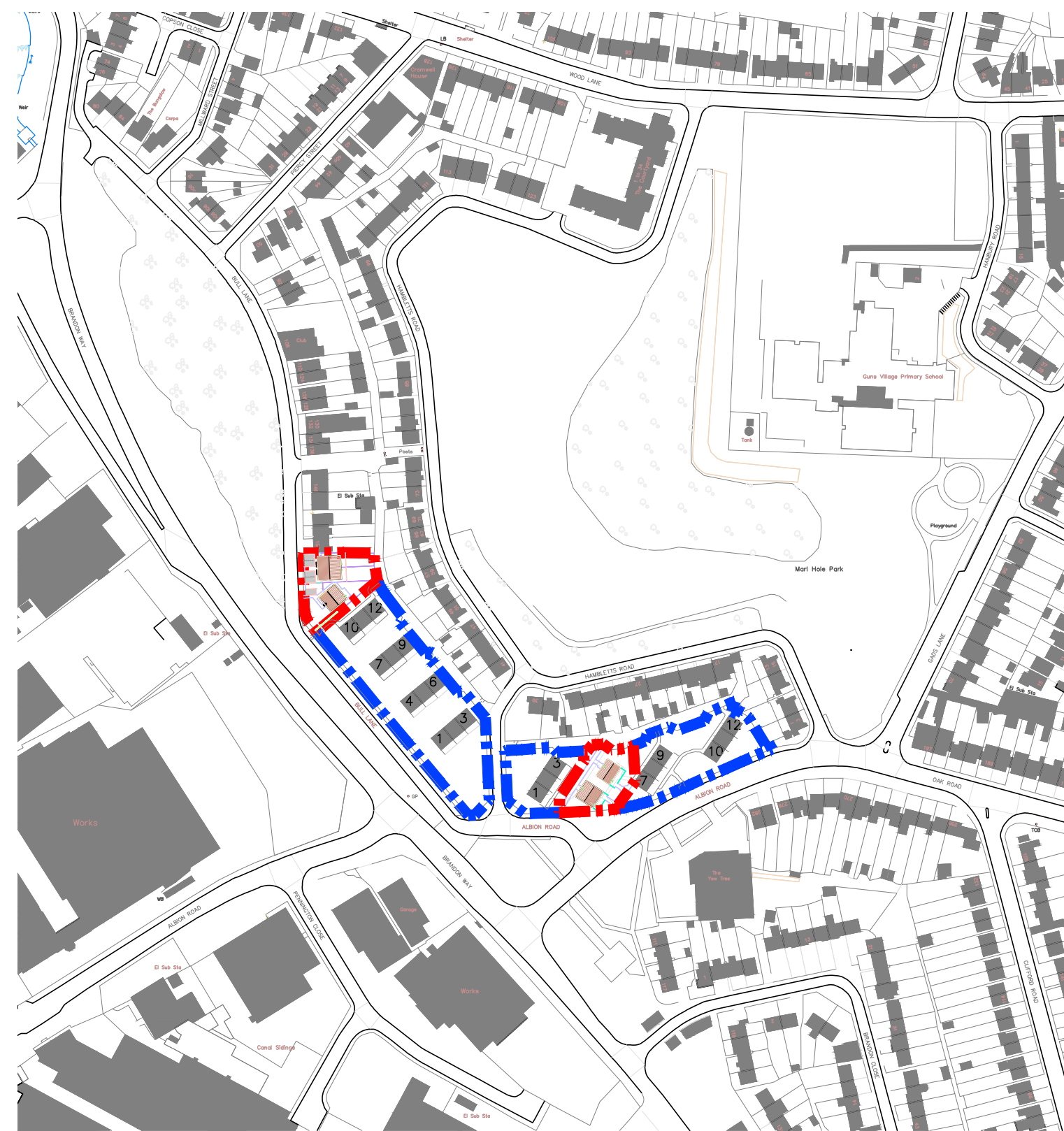
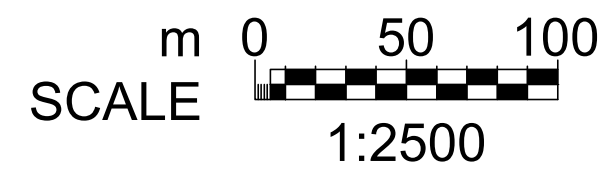
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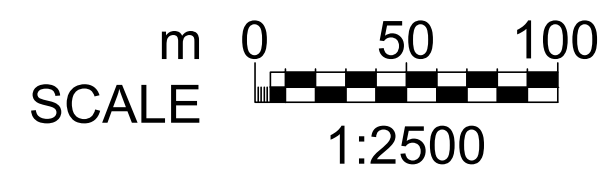




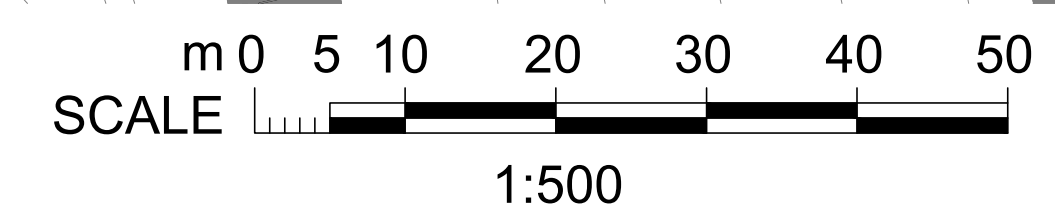
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Scale 1:2500



Proposed Locations Plan
Scale 1:2500

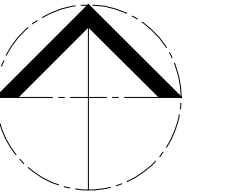


Proposed Site Plan
Scale 1:500



Notes
The Contractor will be responsible for setting out the work.
All dimensions must be obtained or checked on the site.
Figured dimensions to be used in preference to scale.

North Point:



Key Plan:

| Rev | Date | Revision Note | By | Check |
|-----|------|---------------|----|-------|
| | | | | |



Project
New Build Dwellings
Location
Bull Lane & Albion Street
West Bromwich, B70 9PA & B70 8QX
Sheet title
Existing & Proposed Site & Location Plan
Status

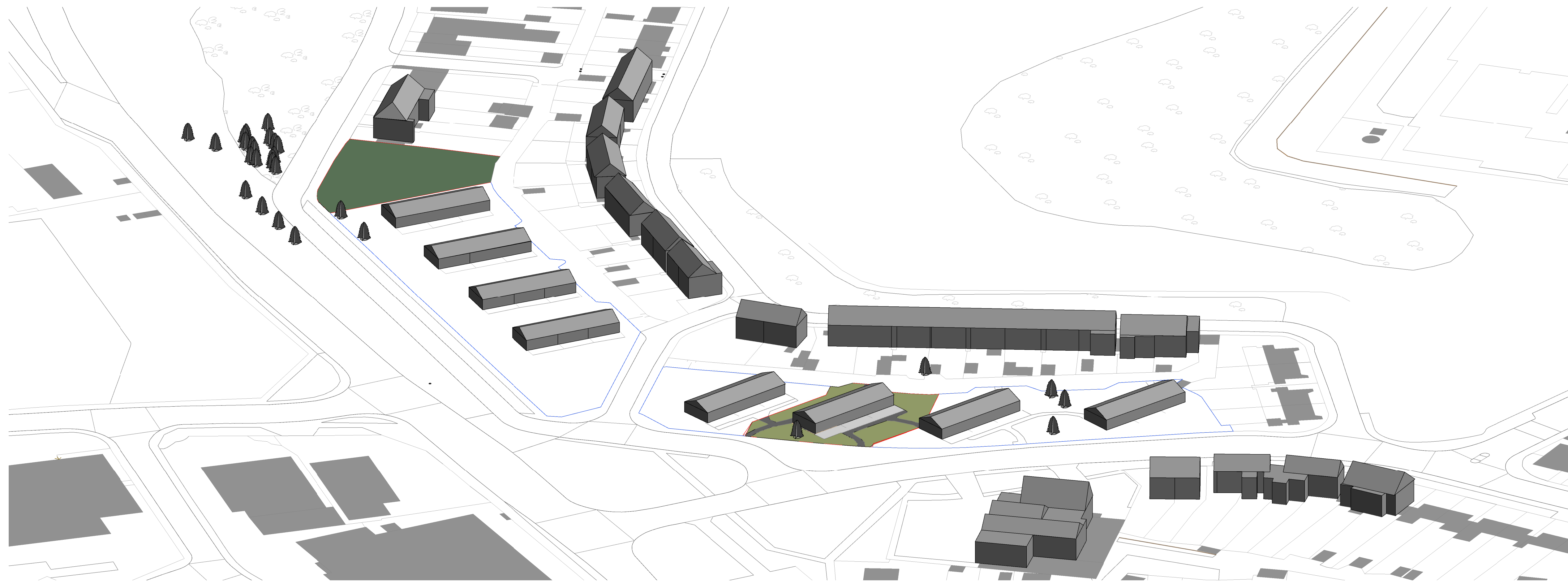
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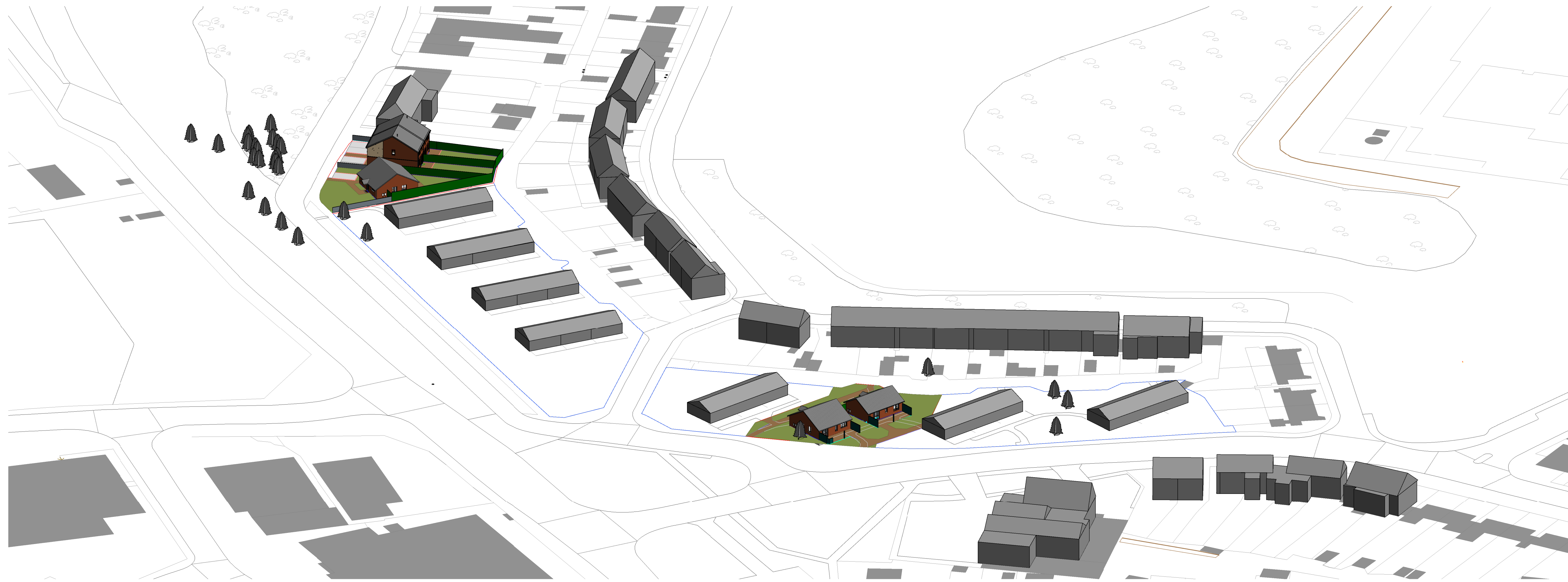
Job No:
Q18046
Contractors Drawing No. (if required)

Urban Design & Building Services
Sandwell Council House
Freeth Street, Oldbury,
B69 3DE
Tel: 0121 969 4541





1 Existing Perspective



2 Proposed Perspective

Notes
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 Figured dimensions to be used in preference to scale.

North Point.
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Key Plan.

| Issue | Date | Issue Note | By | Check |
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Project Title
 Bull Lane - Albion Road
 Location
 Bull Lane, Albion Street
 West Bromwich
 Sheet Title
 Existing & Proposed 3D Views
 Status

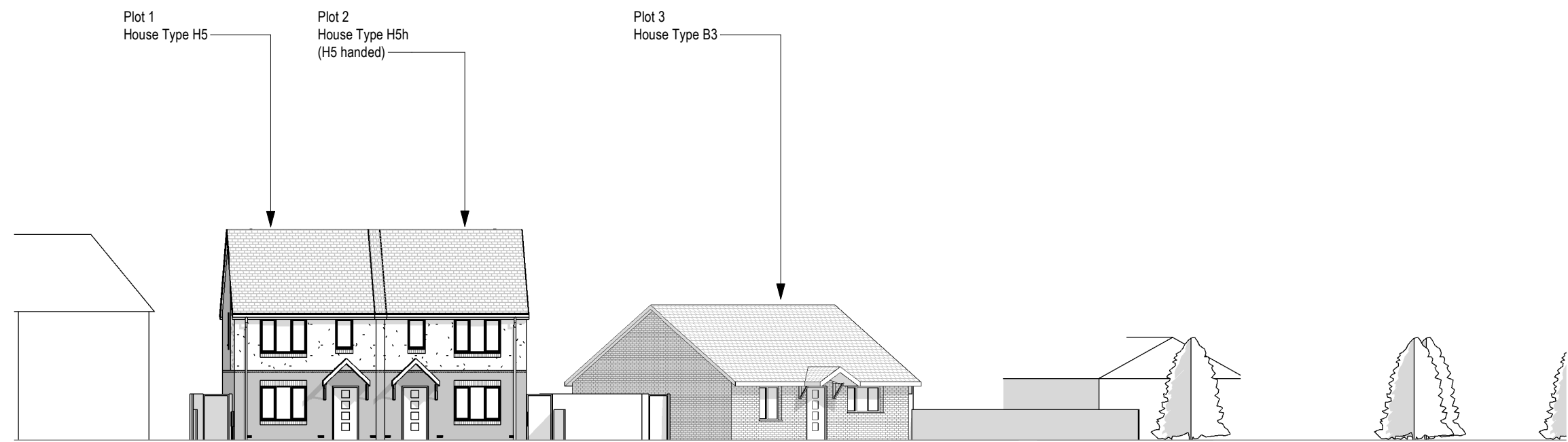
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 Checked by
 08/2015
 Date of Issue
 01/11/15

Classification
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 Sheet No.
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 Suitability
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 Ver/Rev

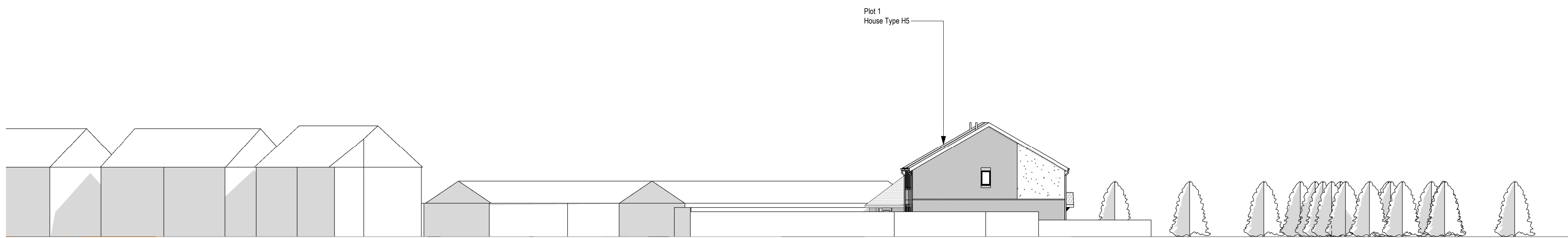
JOB No.
 Q18046
 Contractors Drawing No. (if required)

Urban Design & Building Services
 Sandwell Council House
 Fourth Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541

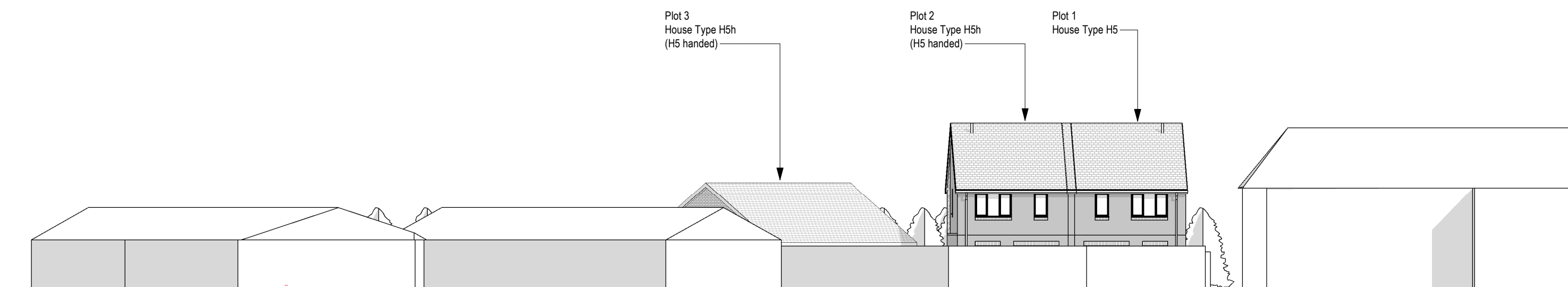
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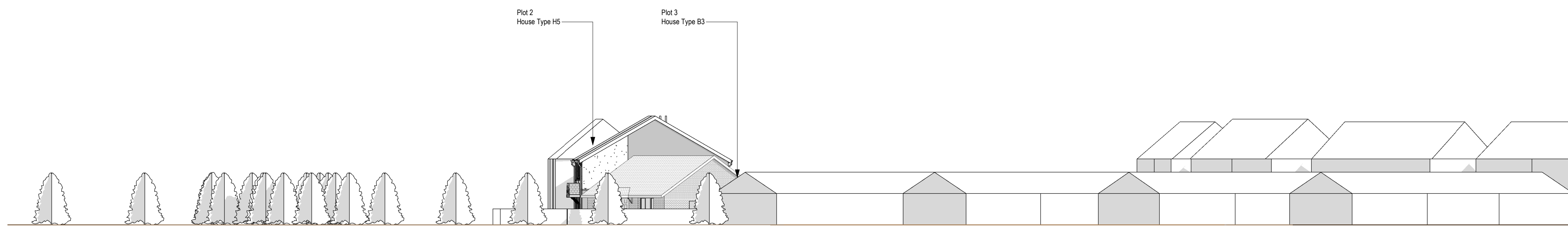
1 **Bull Lane - Proposed West Elevation**
1 : 200



2 **Bull Lane - Proposed North Elevation**
1 : 200



3 **Bull Lane - Proposed East Elevation**
1 : 200



4 **Bull Lane - Proposed South Elevation**
1 : 200

Notes
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Figured dimensions to be used in preference to scale.

North Point.

Key Plan.

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Project Title
Bull Lane - Albion Road
Location
**Bull Lane, Albion Street
West Bromwich**
Sheet Title
Proposed Elevations - Bull Lane
Station
For Comment
Drawn by
gm
07/01/15
Scale at A1
1:100
Scale at A0
1:200

| Issue No. | Classification | Sheet No. | Subsidiary | Ver/Rev |
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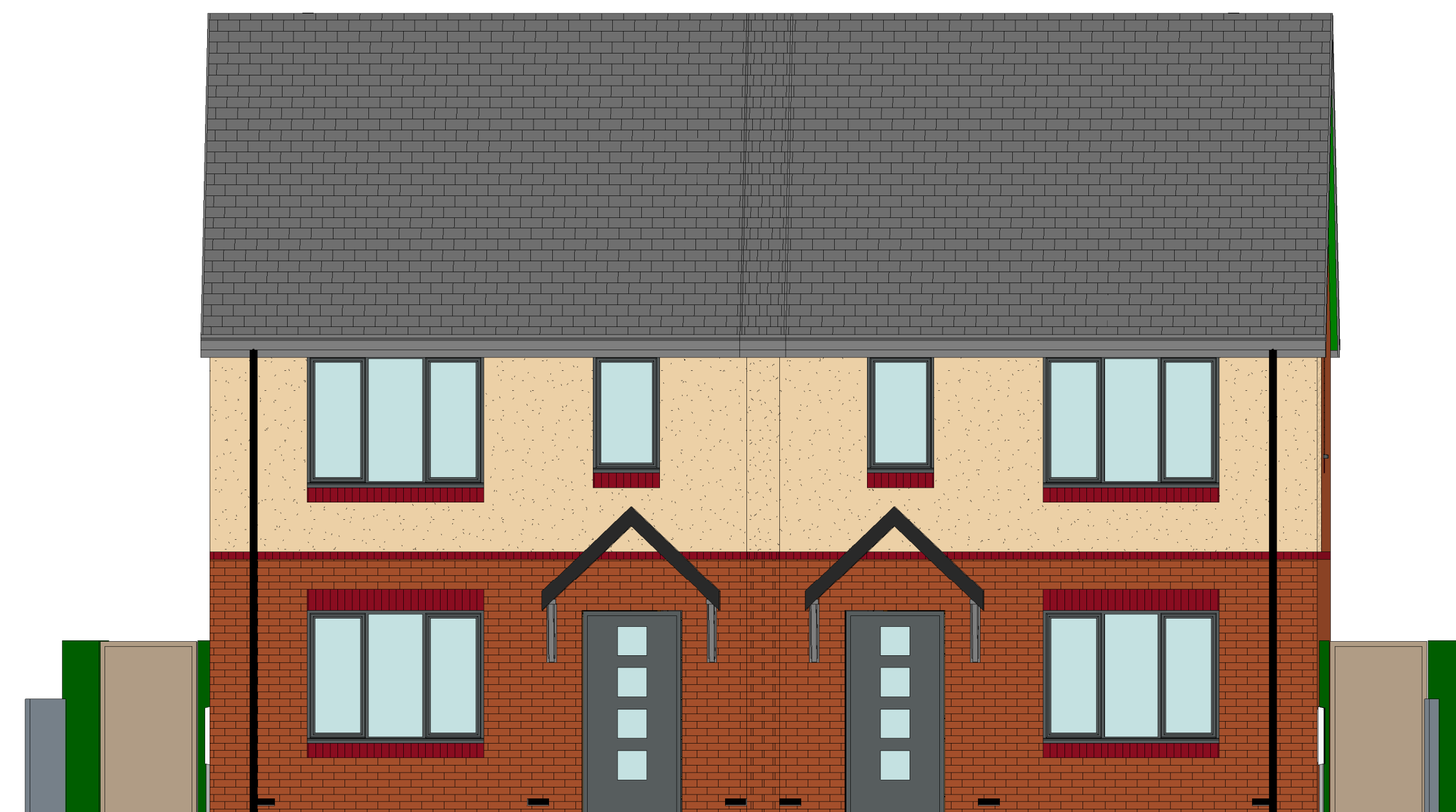
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Contractors Drawing No. (if required)

Urban Design & Building Services
Sandwell Council House
Fourth Street,
Ouburn,
B69 3DE
Tel: 0121 569 4541

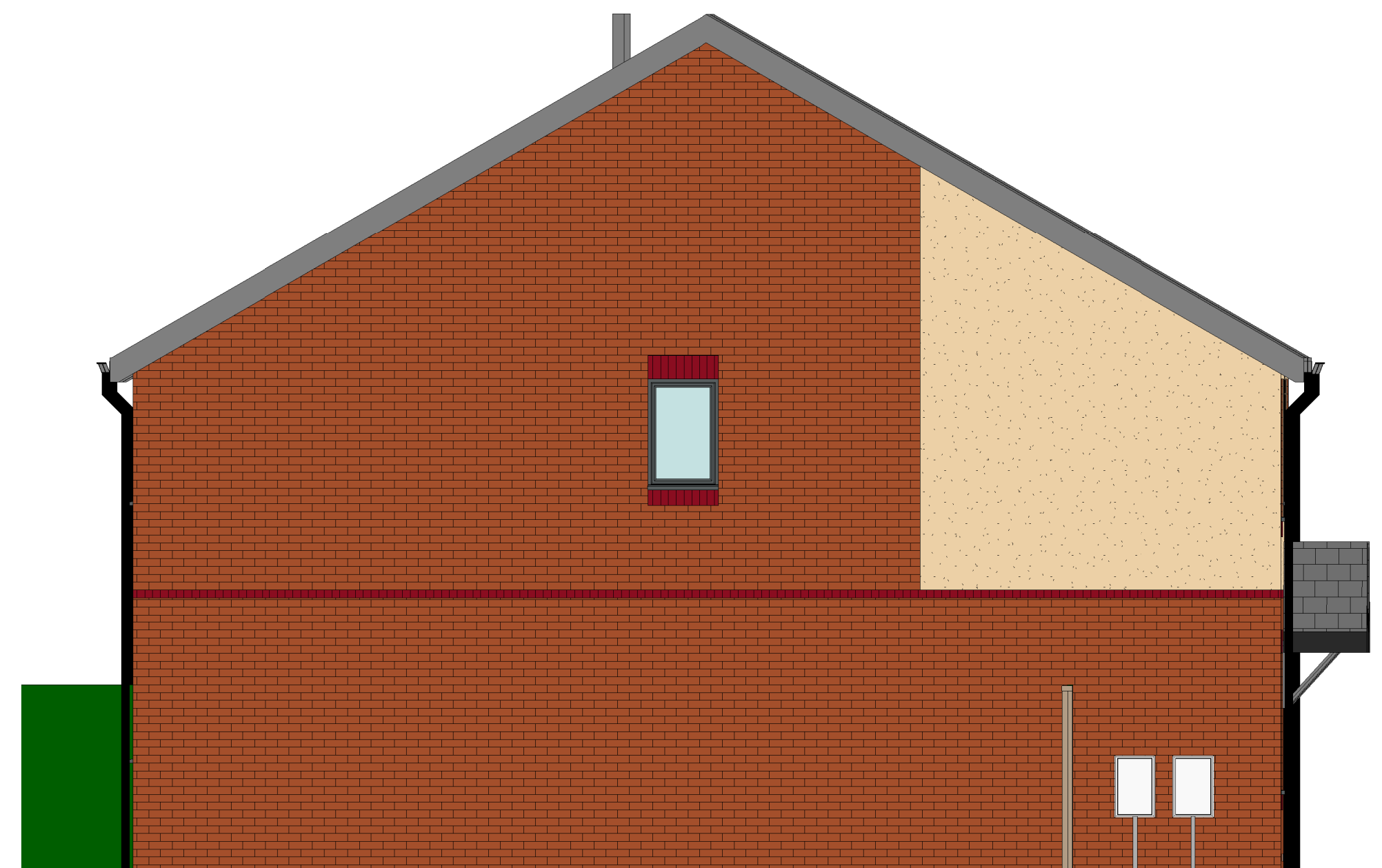


WORK IN Progress

Notes
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1 Plot 1 & 2 House Type H5 (& H5h) Elevation 1 (Front) (W)
 1 : 50



2 Plot 1 & 2 House Type H5 (& H5h) Elevation 2 (N)
 1 : 50



3 Plot 1 & 2 House Type H5 (& H5h) Elevation 3 (Rear) (E)
 1 : 50

**PROPOSED -
 EXTERNAL SPECIFICATION/COLOUR SCHEDULE**

HOUSE TYPE H5 (2 Storey)

Typical Pitched/Profile Roof -
 Roof Tiles - Marley Ltd, 01283 722588
 'Modern Concrete Interlocking Tile'
 Type: Smooth Grey
 (On Timber Truss Roof, 30 degrees)
 NBS: 20-50-95/140

Fascias/Trims - uPVC, Colour: White
 Soffit - uPVC, Colour: White
 Guttering & RWP's - uPVC, Colour: Black
 NBS: 90-05-35/415
 (Note: Refer to Landscape Architects General Arrangement (GA) drawings & Drainage Engineers details for exact number & position or Rain Water (down) Pipes (RWP)).

Typical 1st Floor Render Finish -
 Knauf Marmorit U.K., 0117 982 1042
 Base Coat: LUP222,
 Top Coat: Conni S, Colour: White
 (On Blockwork)
 NBS: 45-55-60/330

Typical 1st Floor Brickwork -
 Facing Brickwork - Ibstock Brick Ltd, 01530 261999
 'Bexhill Red'
 Ref: A4010A
 NBS: 25-10-55/150

Typical Grd Floor Brickwork -
 Facing Brickwork - Ibstock Brick Ltd, 01530 261999
 'Bexhill Red'
 Ref: A4010A
 NBS: 25-10-55/150

Feature Brickwork -
 Soldier Courses - Ibstock Brick Ltd, 01530 261999
 'Burgundy Red Glazed'
 Ref: KGB-RED
 NBS: 25-10-55/150

Typical Windows Frames -
 Framing - Double Glazed uPVC Windows, Side Hung with Easy Clean Hinges. Window Openings to provide emergency escape to all bedrooms.
 External Frame Colour: RAL 7016 (Anthracite Grey)
 Internal Frame Colour: White
 Generally: Clear, Bathroom/Toilets: Frosted
 Silver
 NBS: 25-50-95/125

Glass -
 Handles - Silver
 NBS: 25-50-95/125

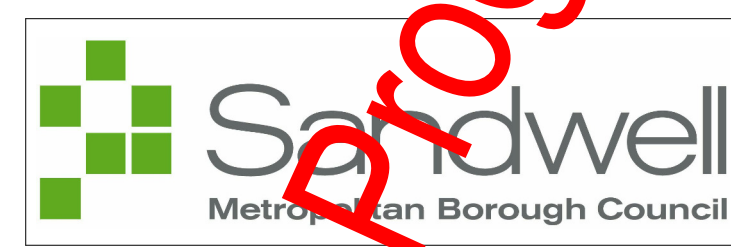
Canopy -
 Front - Composite Cantilever GRP Canopy.
 Frame Colour: White

Typical Doors -
 Front - Composite GRP Front Door designed in accordance with 'Secure By Design'.
 Door Type A, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120A
 Composite Door & Side Windows designed in accordance with 'Secure By Design'.
 Door Type B, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120B

Rear -



| Issue | Date | Issue Note | By | Check |
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Project Title
 Bull Lane - Albion Road

Location
 Bull Lane, Albion Street
 West Bromwich

Sheet Title
 Plot 1 House Type H5 Elevations

Status

Drawn by
 pm 10/03/15

Scale at A1
 1:50

Sheet No.
 0022

Classification
 AP(05)

Sheet No.
 61

Subsidiary
 S2

Version
 Ver Rev

Job No.
 Q18046

Contractors Drawing No. (if required)

Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541

Notes
 The Contractor will be responsible for setting out the work.
 All Dimensions must be obtained or checked on the site.
 Figured dimensions to be used in preference to scale.

**PROPOSED -
 EXTERNAL SPECIFICATION/COLOUR SCHEDULE**

HOUSE TYPE H5 (2 Storey)

Typical Pitched/Profile Roof -
 Roof Tiles - Marley Ltd, 01283 722588
 'Modern Concrete Interlocking Tile'
 Type: Smooth Grey
 (On Timber Truss Roof, 30 degrees)
 NBS: 20-50-95/140
 Fascias/Trims - uPVC, Colour: White
 Soffit - uPVC, Colour: White
 Guttering & RWP's - uPVC, Colour: Black
 NBS: 90-05-35/415
 (Note: Refer to Landscape Architects General Arrangement (GA) drawings & Drainage Engineers details for exact number & position of Rain Water (down) Pipes (RWP)).

Typical 1st Floor Render Finish -
 Knauf Marmorit U.K., 0117 982 1042
 Base Coat: LUP222,
 Top Coat: Conni S, Colour: White
 (On Blockwork)
 NBS: 45-55-60/330

Typical 1st Floor Brickwork -
 Facing Brickwork - Ibstock Brick Ltd, 01530 261999
 'Bexhill Red'
 Ref: A4010A
 NBS: 25-10-55/150

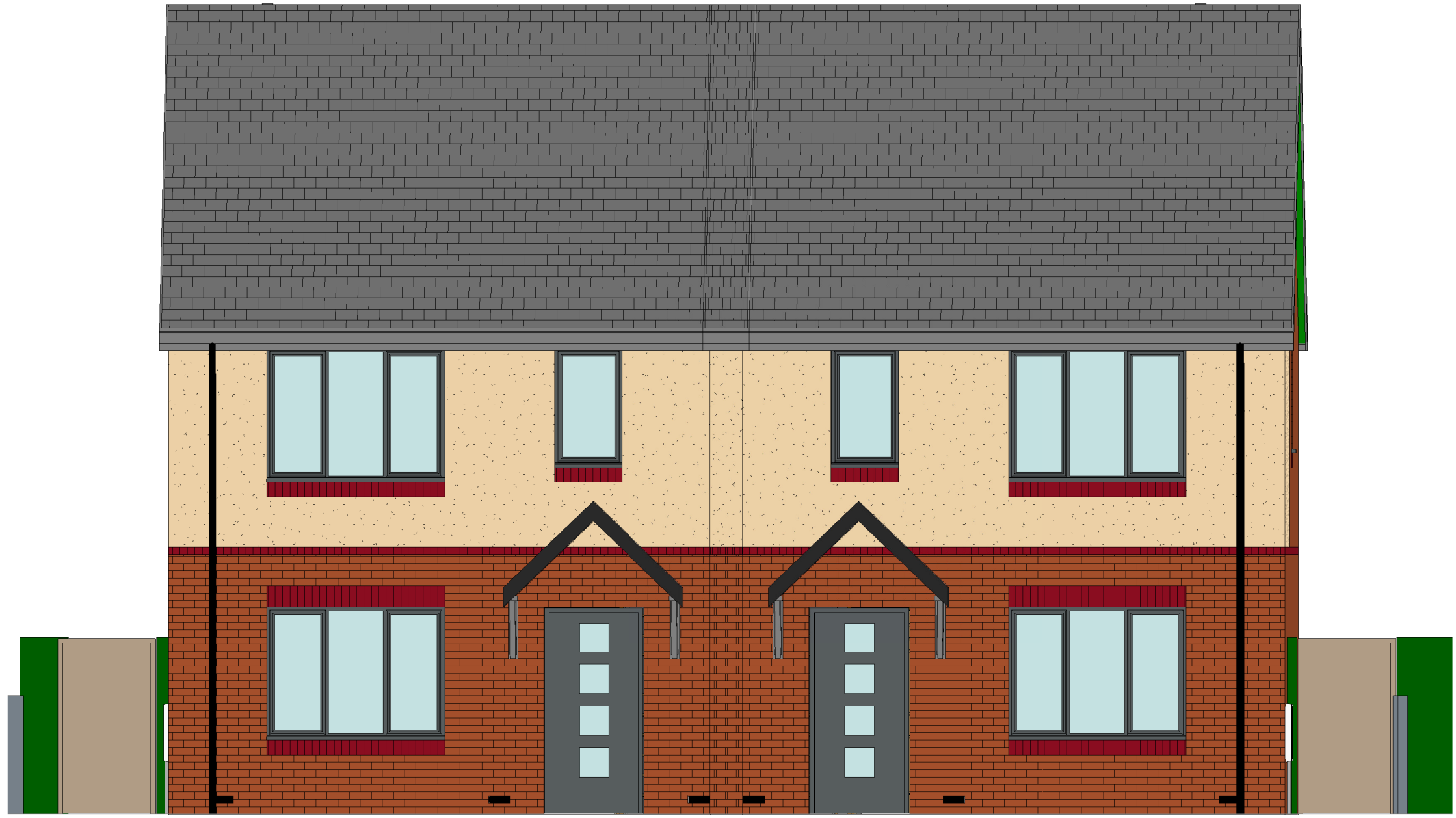
Typical Grd Floor Brickwork -
 Facing Brickwork - Ibstock Brick Ltd, 01530 261999
 'Bexhill Red'
 Ref: A4010A
 NBS: 25-10-55/150

Feature Brickwork -
 Soldier Courses - Ibstock Brick Ltd, 01530 261999
 'Burgundy Red Glazed'
 Ref: KGB-RED
 NBS: 25-10-55/150

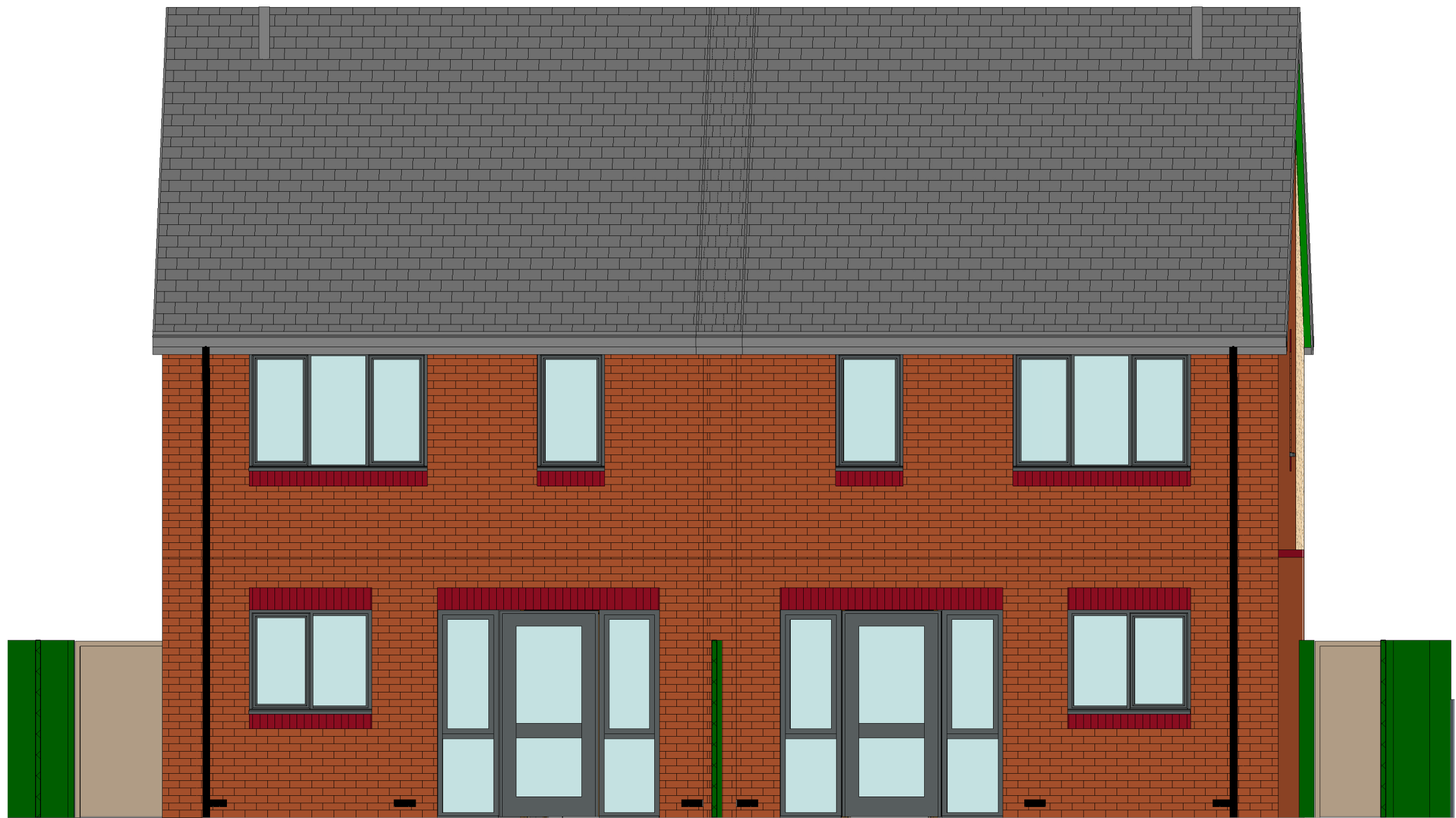
Typical Windows Frames -
 Framing - Double Glazed uPVC Windows, Side Hung with Easy Clean Hinges. Window Openings to provide emergency escape to all bedrooms.
 External Frame Colour: RAL 7016 (Anthracite Grey)
 Internal Frame Colour: White
 Glass - Generally: Clear, Bathroom/Toilets: Frosted
 Handles - Silver
 NBS: 25-50-95/125

Canopy -
 Front - Composite Cantilever GRP Canopy.
 Frame Colour: White

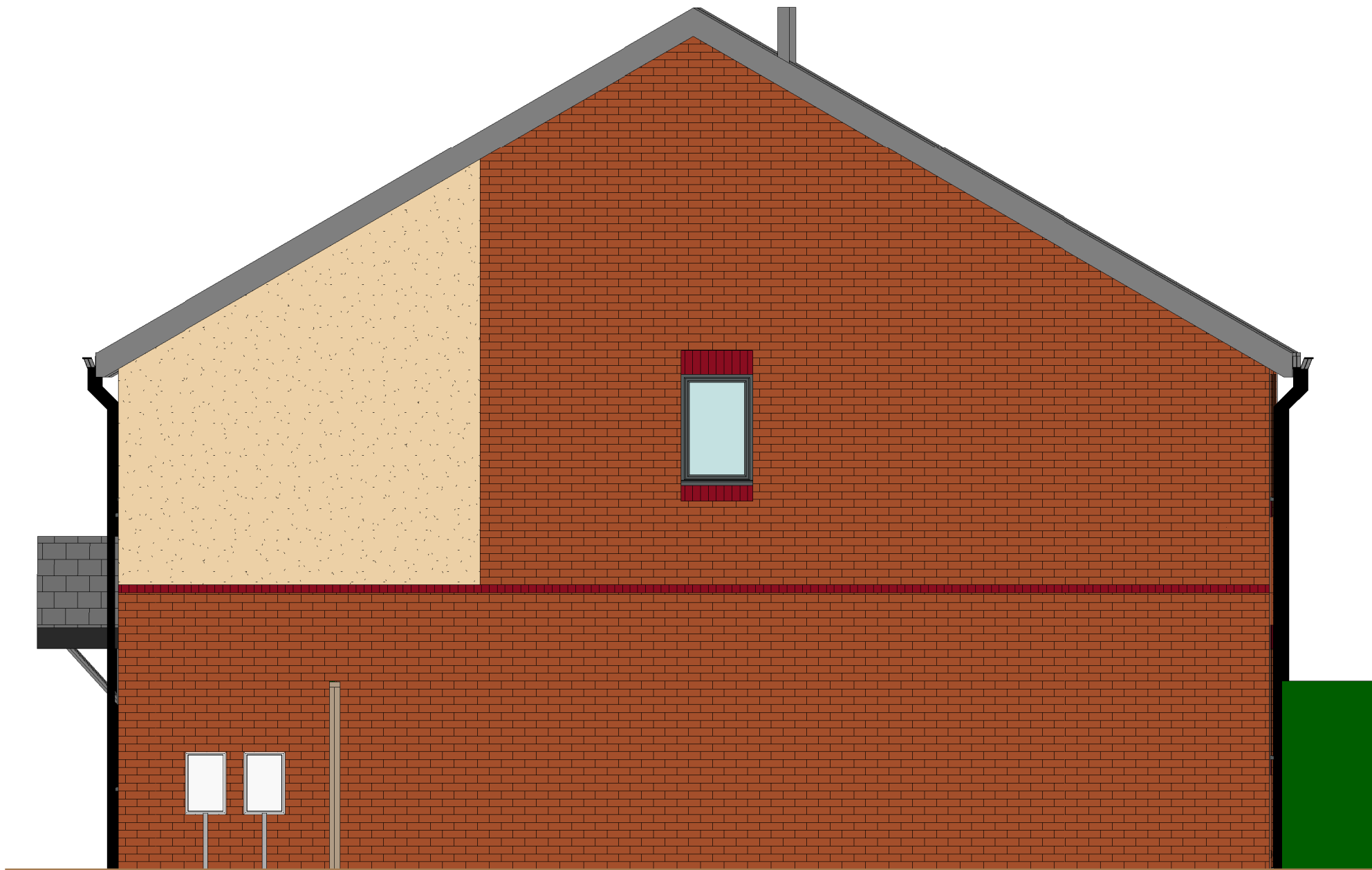
Typical Doors -
 Front - Composite GRP Front Door designed in accordance with 'Secure By Design'.
 Door Type A, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120A
 Rear - Composite Door & Side Windows designed in accordance with 'Secure By Design'.
 Door Type B, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120B



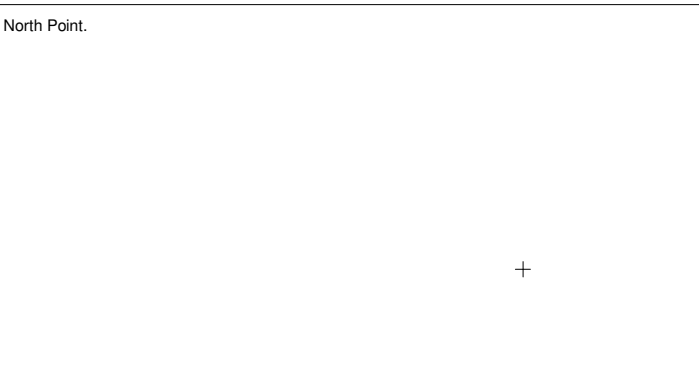
1 Plot 1 & 2 House Type (H5 &) H5h Elevation 1 (Front) (W)
 1 : 50



2 Plot 1 & 2 House Type (H5 &) H5h Elevation 2 (Rear) (E)
 1 : 50



3 Plot 1 & 2 House Type (H5 &) H5h Elevation 3 (S)
 1 : 50



| Issue | Date | Issue Note | By | Check |
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Project Title
 Bull Lane - Albion Road
 Location
 Bull Lane, Albion Street
 West Bromwich
 Sheet Title
 Plot 2 House Type H5h Elevations
 Status

Drawn by
 pm
 Scale at A1
 1:50

Checked by
 10/03/15
 1:100

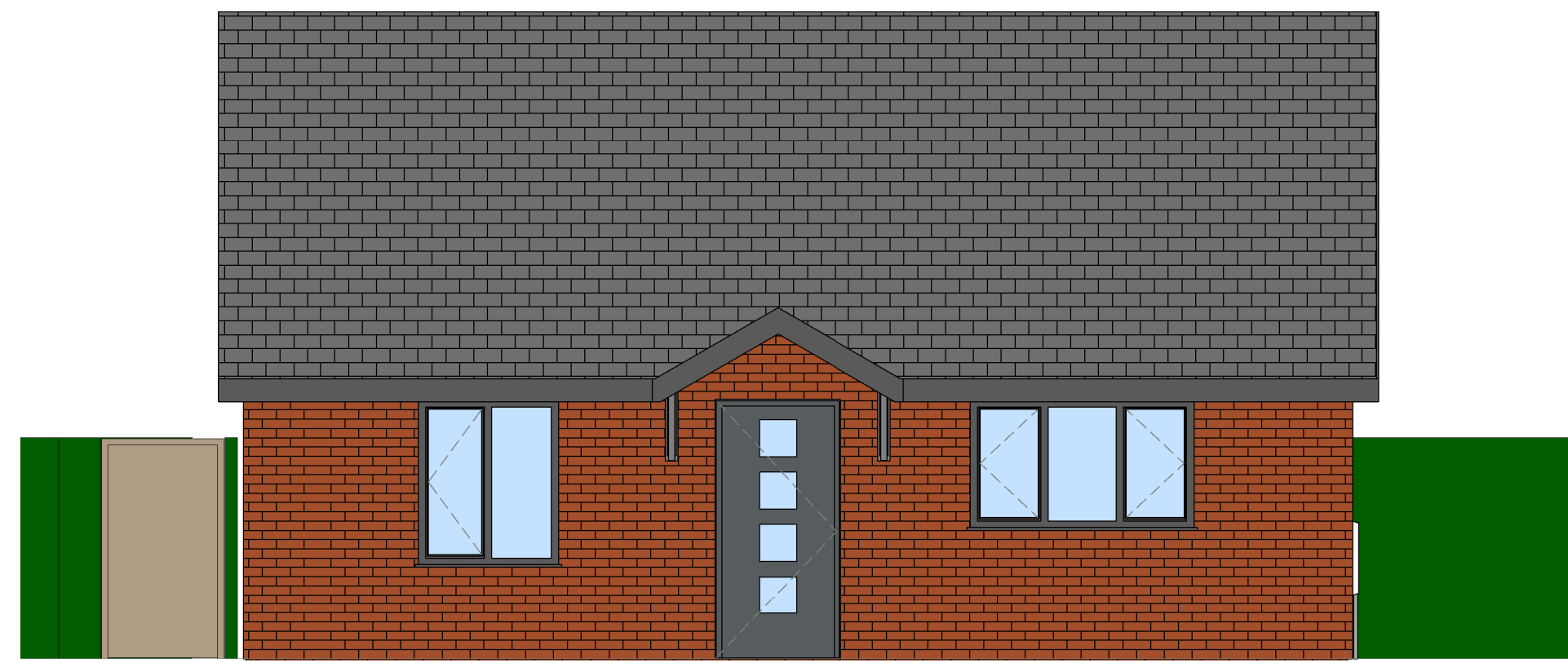
Classification
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Ver/Rev

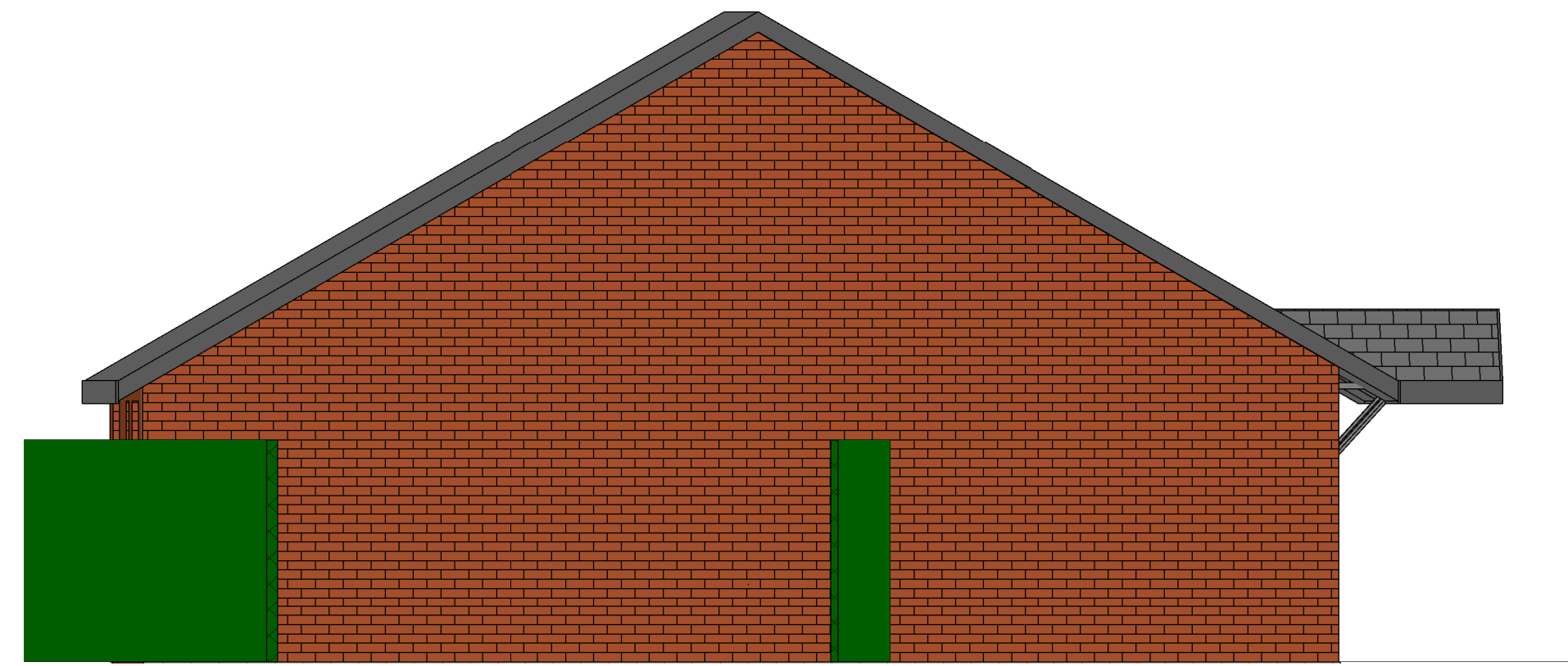
Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B89 3DE
 Tel: 0121 569 4541

Work in Progress

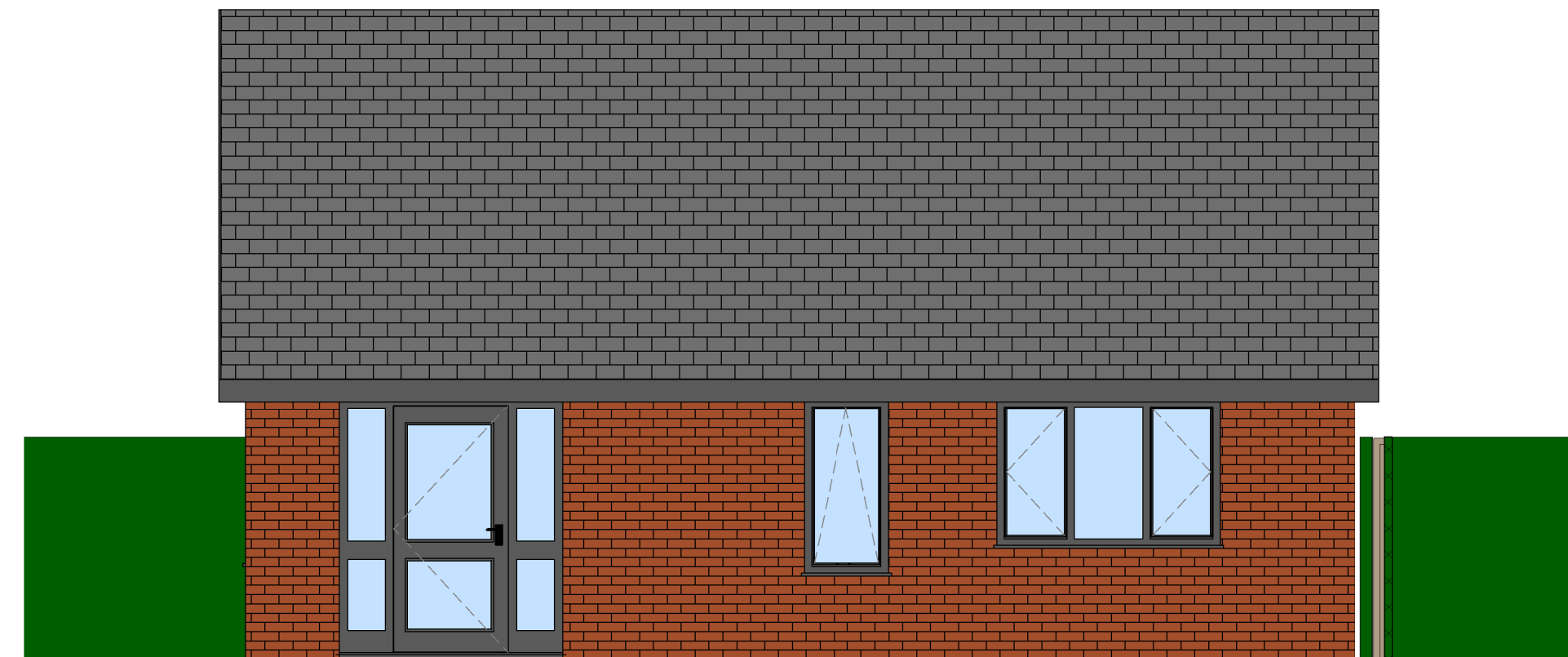




1 Plot 3 House Type B3 Elevation 1 (Front) (SW)
1 : 50



2 Plot 3 House Type B3 Elevation 2 (NW)
1 : 50



3 Plot 3 House Type B3 Elevation 3 (Rear) (NE)
1 : 50



4 Plot 3 House Type B3 Elevation 4 (SE)
1 : 50

**PROPOSED -
EXTERNAL SPECIFICATION/COLOUR SCHEDULE**

HOUSE TYPE B2 (1 Storey) & B3 (1 Storey)

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 'Modern Concrete Interlocking Tile'
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 On Timber Truss Roof (30 degrees)
 NBS: 20-50-95/140
 Fascias/Trims - uPVC, Colour: White
 Soffit - uPVC, Colour: White
 Guttering & RWPs - uPVC, Colour: Black
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 (Note: Refer to Landscape Architects General Arrangement (GA) drawings & Drainage Engineers details for exact number & position of Rain Water (down) Pipes (RWP)).

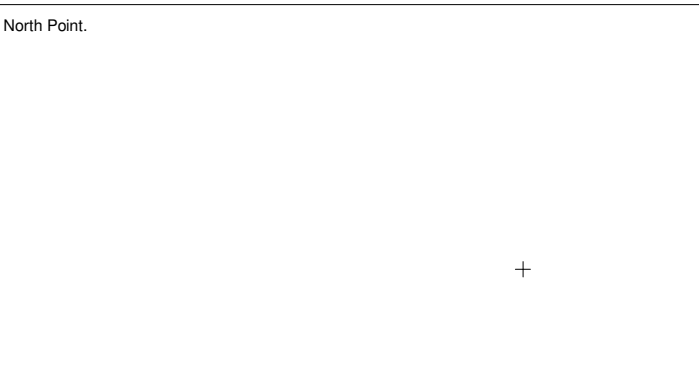
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 Ref: A4010A
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 Door Type A, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120A
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 Door Type B, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120B



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 Figured dimensions to be used in preference to scale.



| Issue | Date | Issue Note | By | Check |
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Project Title
Bull Lane - Albion Road
 Location
 Bull Lane, Albion Street
 West Bromwich
 Sheet Title
Plot 3 House Type B3 Elevations
 Status

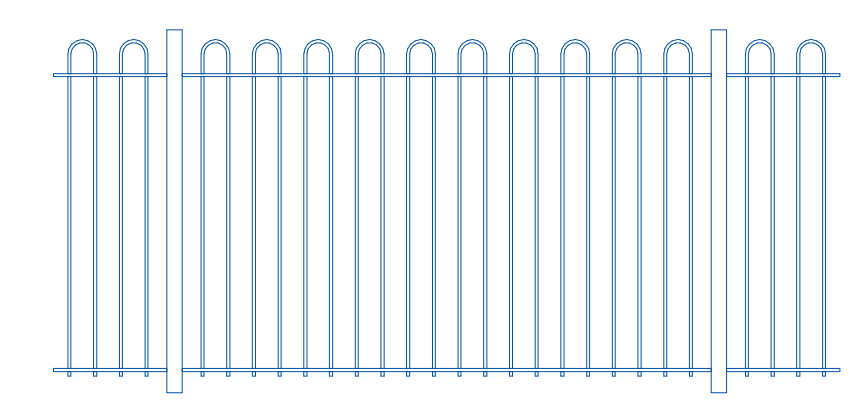
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|----------------|------------------|-------------|---------------------|----------------------|
| Drawn by pm | Date 10/03/19 | Checked by | Scale at A1 1:50 | Scale at A2 1:100 |
| Classification | Sheet No. | Suitability | Ver/Rev | |
| 00 | ZZ | AP(05) | 63 | S2 |

Job No.
Q18046
 Contractors Drawing No. (if required)
 Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541



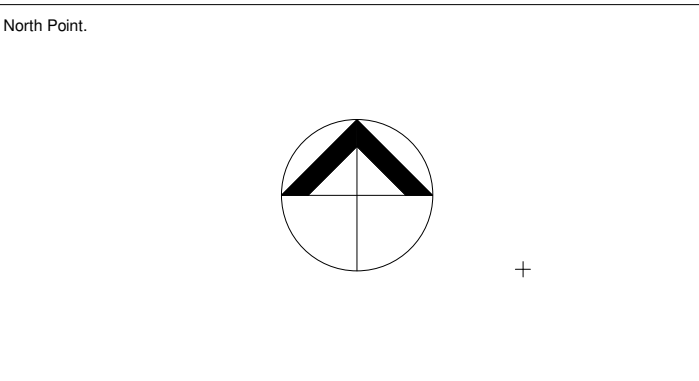


1 Bull Lane - Proposed Ground Floor Plans
1 : 100



2 Elevation - Existing Metal Railings
1 : 25

Notes
The Contractor will be responsible for setting out the work. All dimensions must be obtained or checked on the site. Figured dimensions to be used in preference to scale.



Key Plan:

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| Issue | Date | Issue Note | By | Check |
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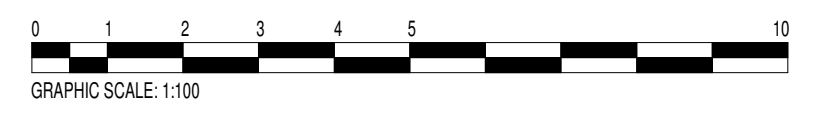
Project Title
Bull Lane - Albion Road
Location
Bull Lane, Albion Street
West Bromwich
Sheet Title
Bull Lane Ground Floor

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|----------------------|----------------------|------------|
| Drawn by CF | Date 08/28/19 | Checked by |
| Scale at A1 1:100 | Scale at A3 1:200 | |

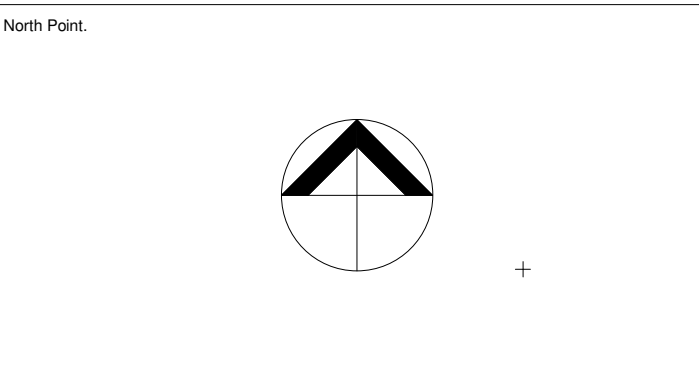
| Zone | Level | Classification | Sheet No. | Suitability | Ver/Rev |
|------|-------|----------------|-----------|-------------|---------|
| 01 | 00 | AP(04) | 02 | S2 | |

Job No.
Q18046

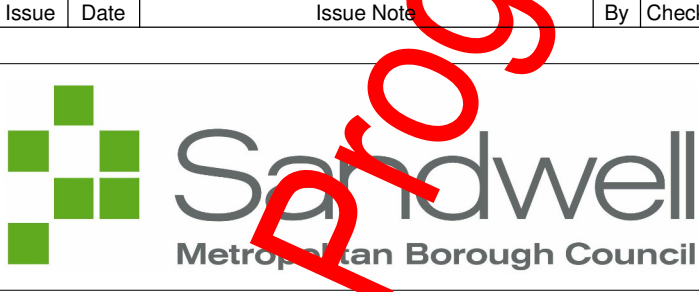
Urban Design & Building Services
Sandwell Council House
Fourth Street,
Oldbury,
B89 3DE
Tel: 0121 569 4541



Notes
 The Contractor will be responsible for setting out the work.
 All Dimensions must be obtained or checked on the site.
 Figured dimensions to be used in preference to scale.



| Issue | Date | Issue Note | By | Check |
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Project Title
 Bull Lane - Albion Road
Location
 Bull Lane, Albion Street
 West Bromwich

Sheet Title
 Bull Lane First Floor

Station
 For Comment

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|-------------|---------|-------------|-----|
| Drawn by | CF | Checked by | |
| Date | 08/2015 | Date | |
| Scale at A1 | 1:100 | Scale at A0 | 200 |

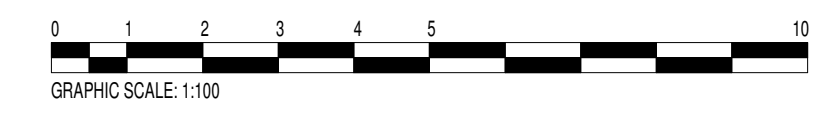
| Sheet No. | Classification | Sheet No. | Subsidiary | Ver/Rev |
|-----------|----------------|-----------|------------|---------|
| 01 | AP(04) | 03 | S2 | |

JOB No.
 Q18046

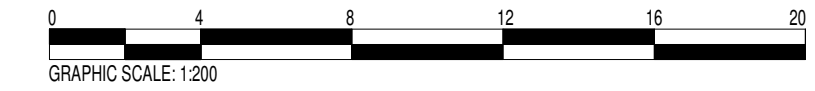
Contractors Drawing No. (if required)

Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541

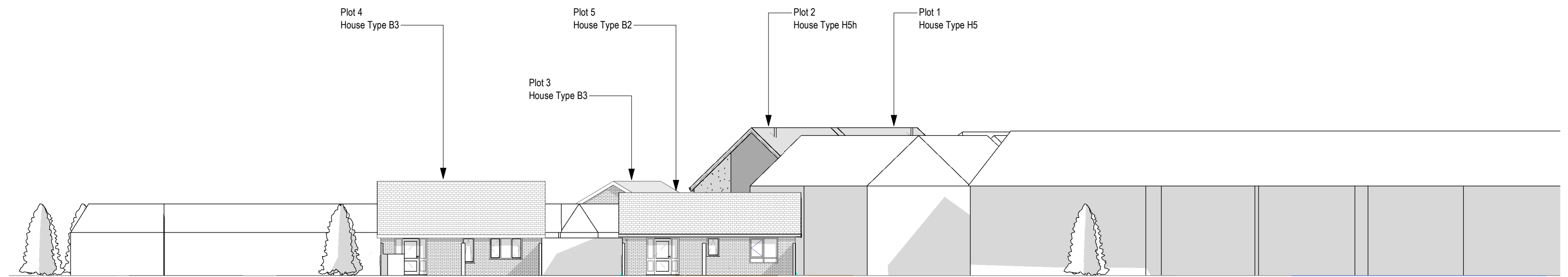
WORK IN PROGRESS



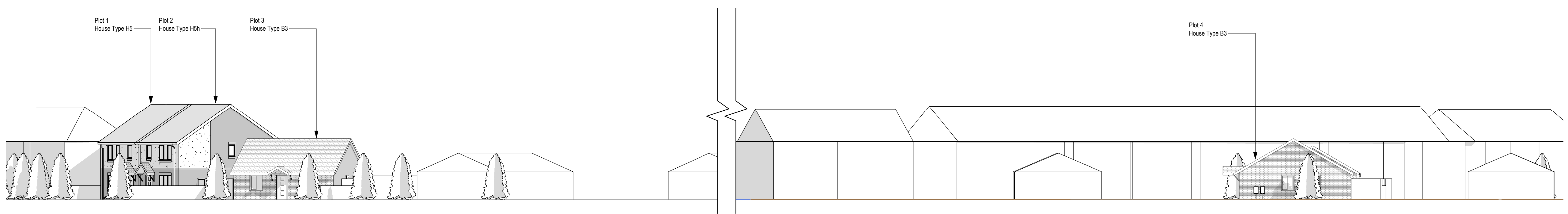
1 Bull Lane - Proposed First Floor Plans
 1 : 100



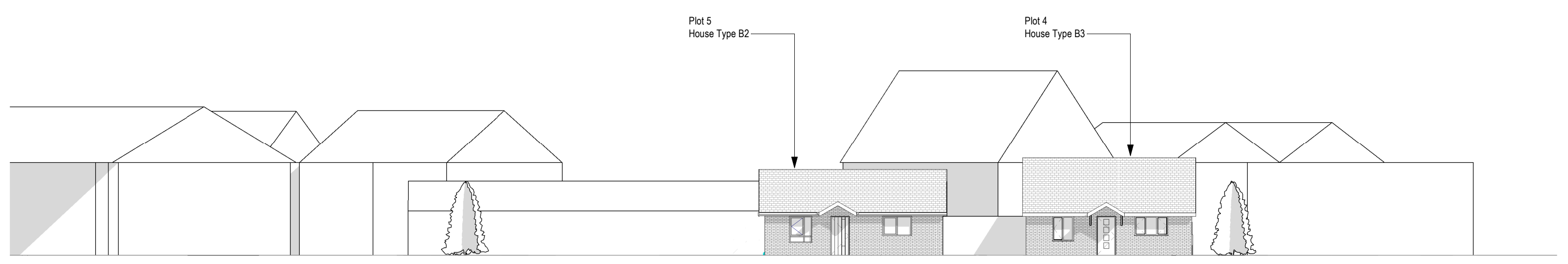
Notes
 The Contractor will be responsible for setting out the work.
 All Dimensions must be obtained or checked on the site.
 Figured dimensions to be used in preference to scale.



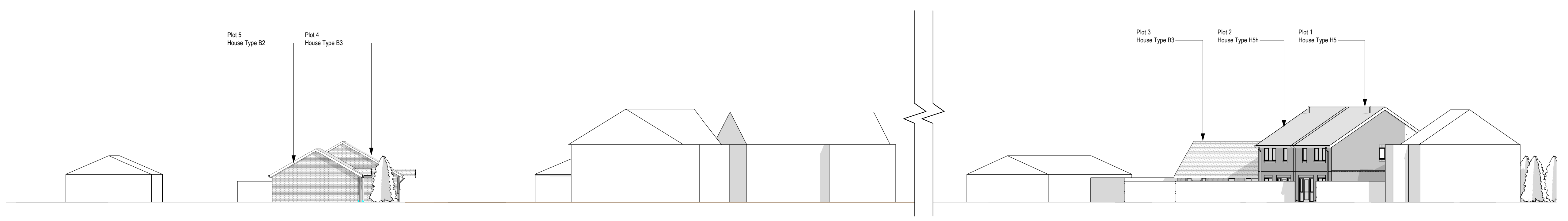
1 Albion Road - Proposed South East Elevation
 1 : 200



2 Albion Road - Proposed South West Elevation
 1 : 200



3 Albion Road - Proposed North West Elevation
 1 : 200



4 Albion Road - Proposed North East Elevation
 1 : 200

North Point.
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Key Plan.

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| Issue | Date | Issue Note | By | Check |
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Project Title
Bull Lane - Albion Road
 Location
 Bull Lane, Albion Street
 West Bromwich
 Sheet Title
Proposed Elevations - Albion Road
 Status
 For Comment
 Drawn by
 gm
 08/2015
 Scale at A1
 1:100
 Scale at A0
 1:200
 Sheet Content

| | | | | | | | | |
|----|----|----------------|--------|-----------|----|-------------|----|---------|
| 02 | XX | Classification | AP(05) | Sheet No. | 02 | Suitability | S2 | Ver/Rev |
|----|----|----------------|--------|-----------|----|-------------|----|---------|

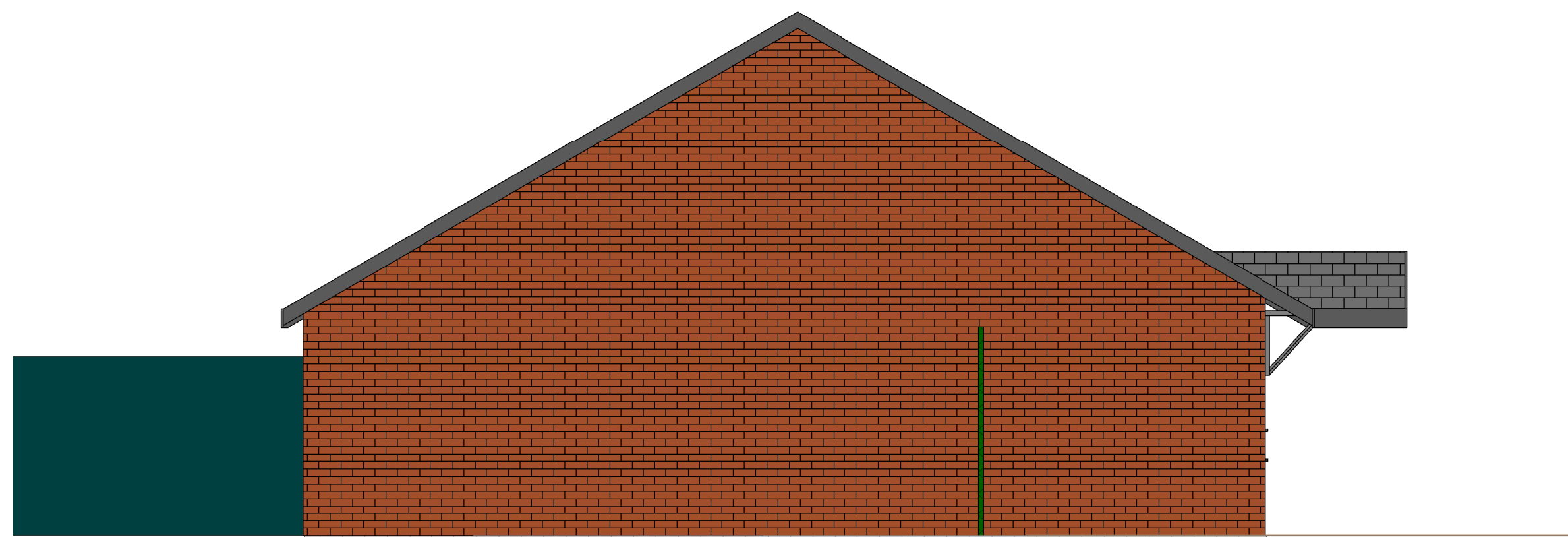
 Job No.
Q18046
 Contractors Drawing No. (if required)

Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541

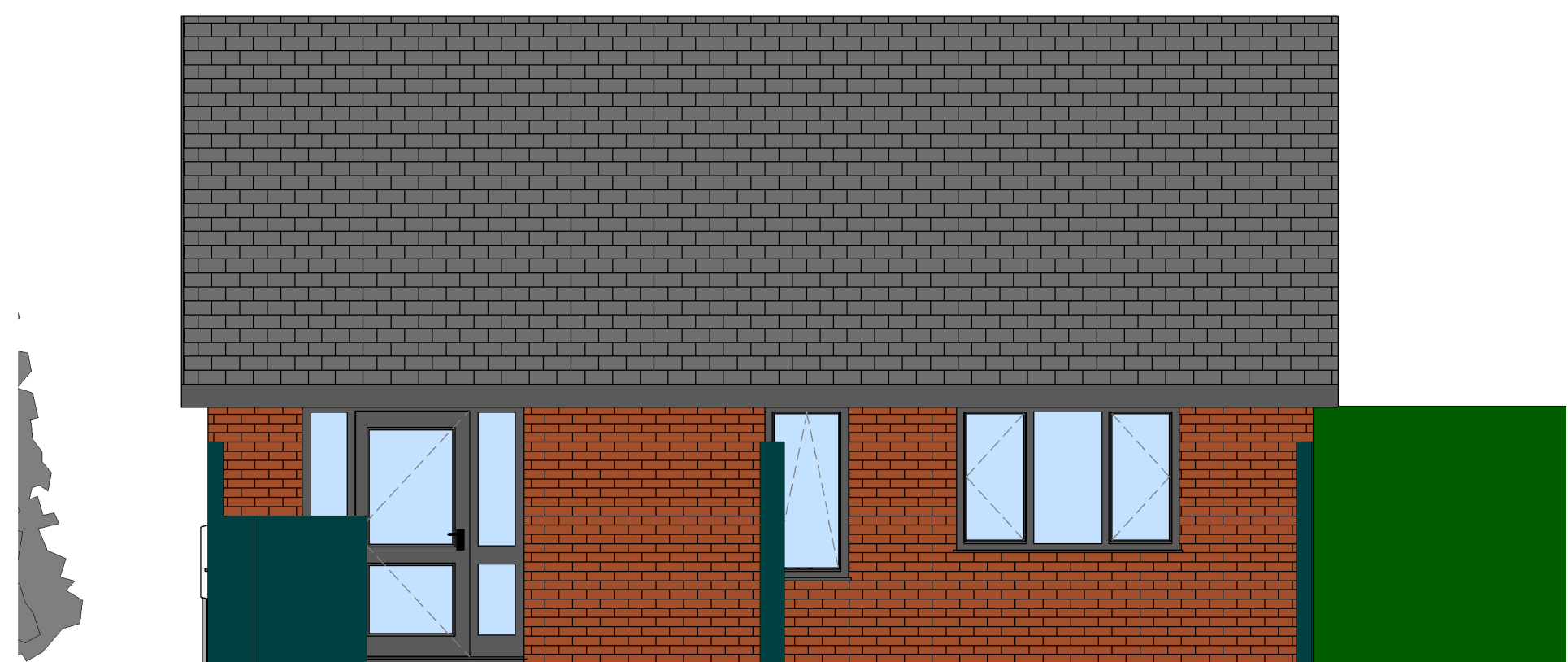
WORK IN PROGRESS



1 Plot 4 House Type B3 Elevation 1 (Front) (NW)
1 : 50



2 Plot 4 House Type B3 Elevation 2 (NE)
1 : 50



3 Plot 4 House Type B3 Elevation 3 (Rear) (SE)
1 : 50



4 Plot 4 House Type B3 Elevation 4 (SW)
1 : 50

**PROPOSED -
EXTERNAL SPECIFICATION/COLOUR SCHEDULE**

HOUSE TYPE B2 (1 Storey) & B3 (1 Storey)

Typical Pitched/Profile Roof -
Roof Tiles - Marley Ltd, 01283 722588
'Modern Concrete Interlocking Tile'
Type: Smooth Grey
On Timber Truss Roof (30 degrees)
NBS: 20-50-95/140
Fascias/Trims - uPVC, Colour: White
Soffit - uPVC, Colour: White
Guttering & RWPs - uPVC, Colour: Black
NBS: 90-05-35/415
(Note: Refer to Landscape Architects General Arrangement (GA) drawings & Drainage Engineers details for exact number & position or Rain Water (down) Pipes (RWP)).

Typical Brickwork -
Facing Brickwork - Ibstock Brick Ltd, 01530 261999
'Bexhill Red'
Ref: A4010A
NBS: 25-10-55/150

Typical Windows Frames -
Framing - Double Glazed uPVC Windows, Side Hung with Easy Clean Hinges. Window Openings to provide emergency escape to all bedrooms.
External Frame Colour: RAL 7016 (Anthracite Grey)
Internal Frame Colour: White
Generally: Clear, Bathroom/Toilets: Frosted
Glass - Silver
Handles - NBS: 25-50-95/125

Typical Doors -
Front - Composite GRP Front Door designed in accordance with 'Secure By Design'.
Door Type A, Colour: RAL 7016 (Anthracite Grey)
NBS: 25-50/120A
Rear - Composite Door & Side Windows designed in accordance with 'Secure By Design'.
Door Type B, Colour: RAL 7016 (Anthracite Grey)
NBS: 25-50/120B

Notes
The Contractor will be responsible for setting out the work.
All Dimensions must be obtained or checked on the site.
Figured dimensions to be used in preference to scale.

North Point.

Key Plan.

| Issue | Date | Issue Note | By | Check |
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Project Title
Bull Lane - Albion Road

Location
**Bull Lane, Albion Street
West Bromwich**

Sheet Title
Plot 4 House Type B3 Elevations

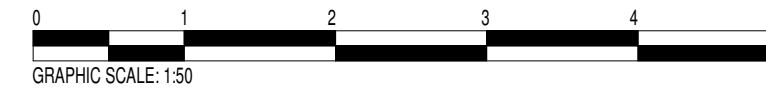
Status

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| Drawn by pm | Date 10/03/19 | Checked by | |
| Scale at A1 1:50 | Scale at A0 1:100 | | |

| Rev | Classification | Sheet No. | Subsidiary | Ver/Rev |
|-----|----------------|-----------|------------|---------|
| 00 | ZZ | AP(05) | 64 | S2 |

Contractors Drawing No. (if required)
Q18046

Urban Design & Building Services
Sandwell Council House
Fleeth Street,
Oldbury,
B69 3DE
Tel: 0121 569 4541

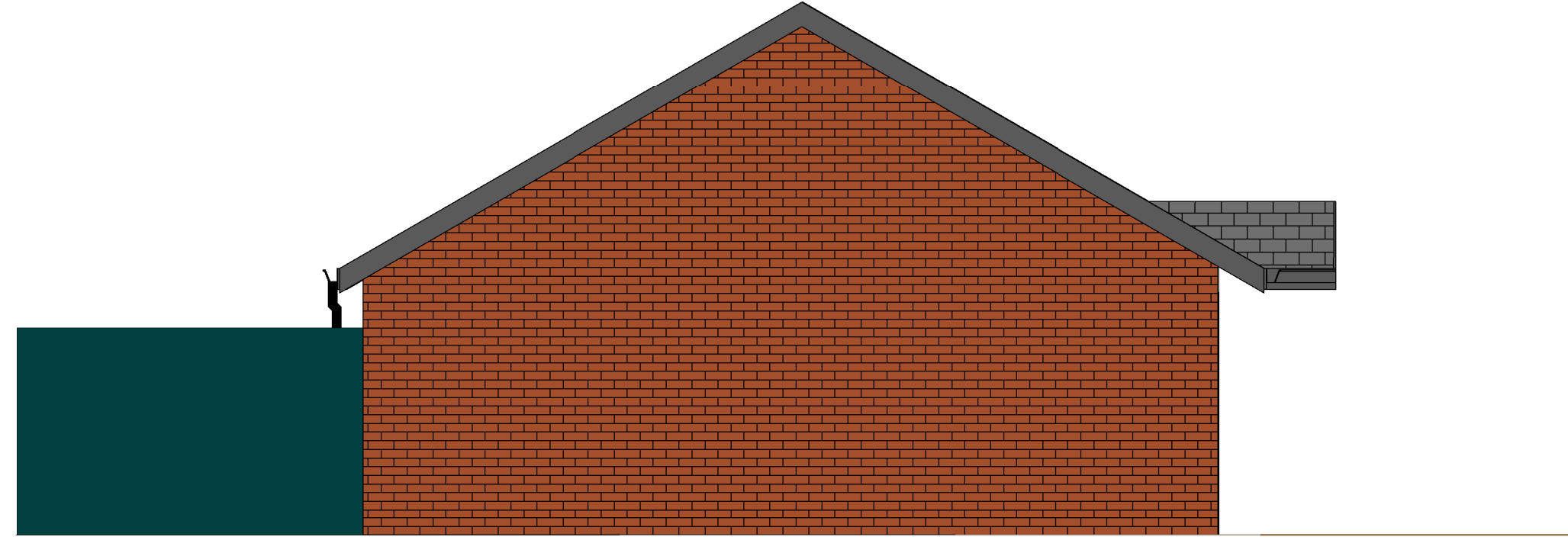


Work in Progress

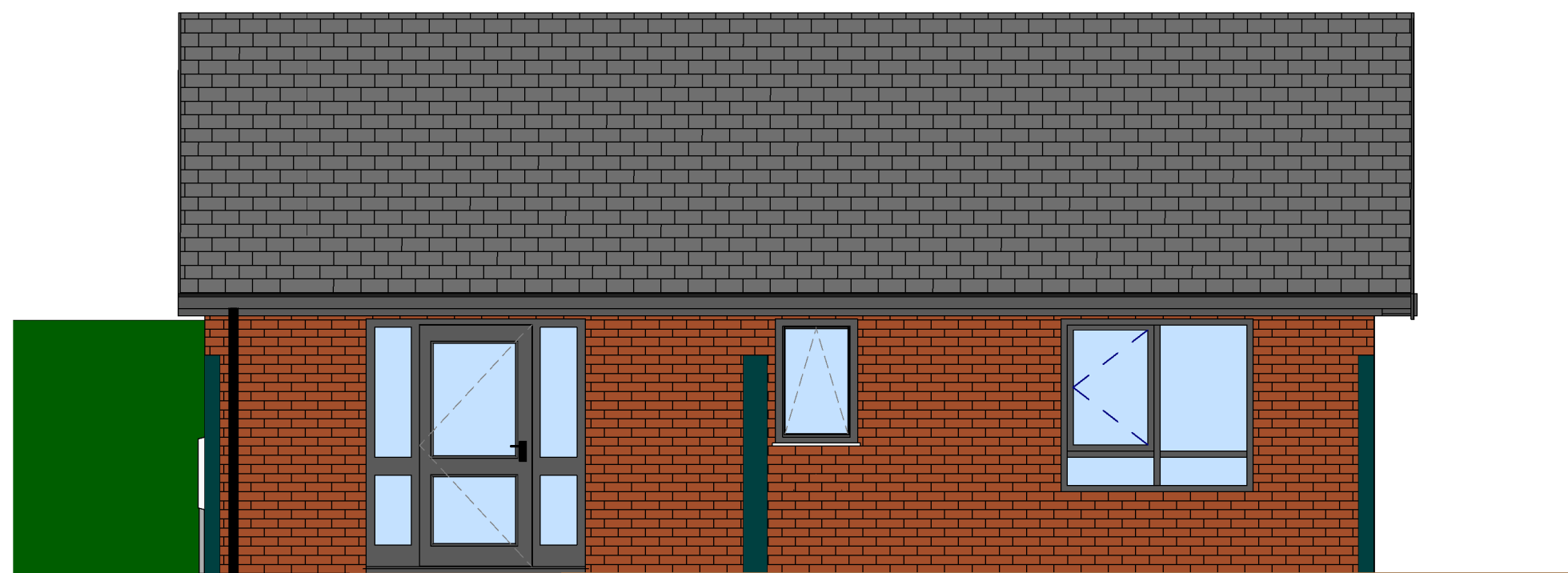
Notes
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 Figured dimensions to be used in preference to scale.



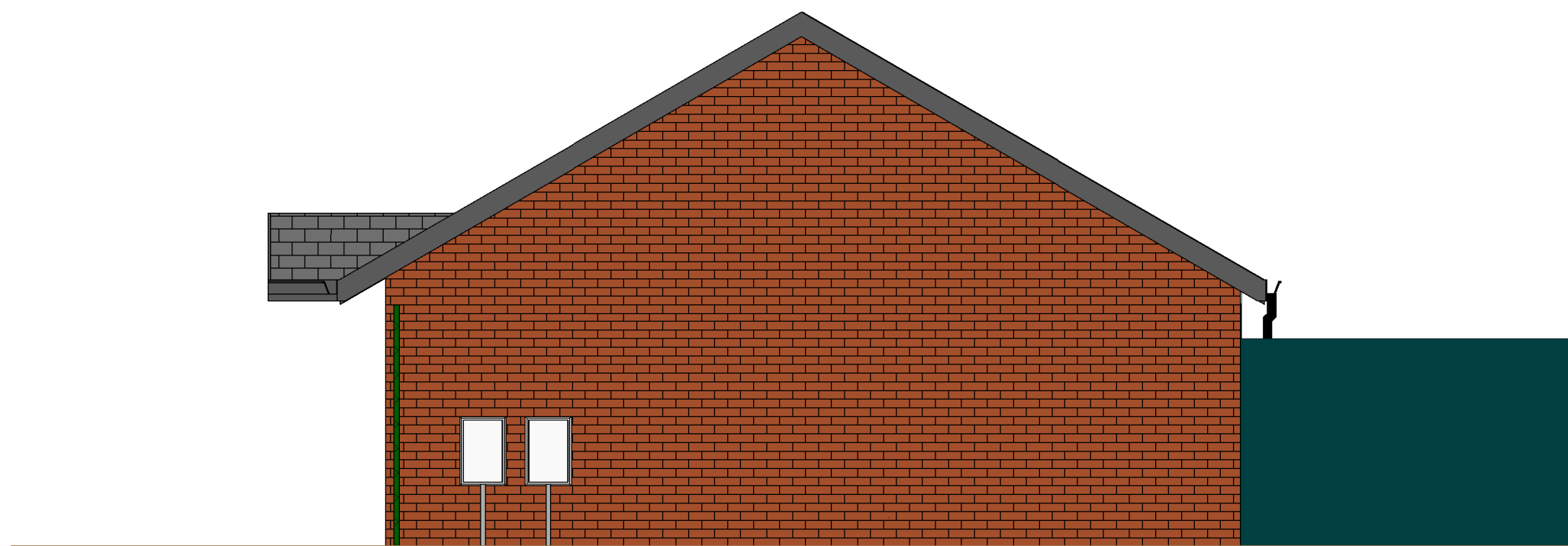
1 Plot 5 House Type B2 Elevation 1 (Front) (NW)
 1 : 50



2 Plot 5 House Type B2 Elevation 2 (NE)
 1 : 50



3 Plot 5 House Type B2 Elevation 3 (Rear) (SE)
 1 : 50



4 Plot 5 House Type B2 Elevation 4 (SW)
 1 : 50

**PROPOSED -
 EXTERNAL SPECIFICATION/COLOUR SCHEDULE**

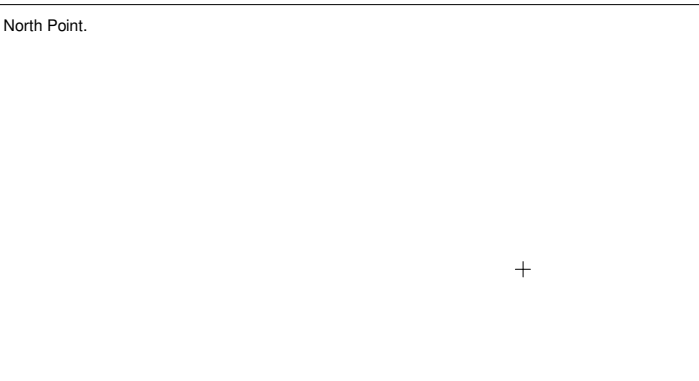
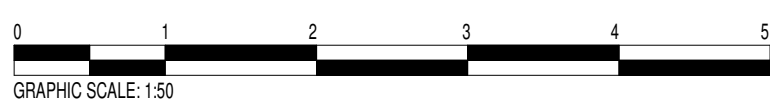
HOUSE TYPE B2 (1 Storey) & B3 (1 Storey)

Typical Pitched/Profile Roof -
 Roof Tiles - Marley Ltd, 01283 722588
 'Modern Concrete Interlocking Tile'
 Type: Smooth Grey
 On Timber Truss Roof (30 degrees)
 NBS: 20-50-95/140
 Fascias/Trims - uPVC, Colour: White
 Soffit - uPVC, Colour: White
 Guttering & RWP's - uPVC, Colour: Black
 NBS: 90-05-35/415
 (Note: Refer to Landscape Architects General Arrangement (GA) drawings & Drainage Engineers details for exact number & position of Rain Water (down) Pipes (RWP)).

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 'Bexhill Red'
 Ref: A4010A
 NBS: 25-10-55/150

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 Framing - Double Glazed uPVC Windows, Side Hung with Easy Clean Hinges. Window Openings to provide emergency escape to all bedrooms.
 External Frame Colour: RAL 7016 (Anthracite Grey)
 Internal Frame Colour: White
 Glass - Generally: Clear, Bathroom/Toilets: Frosted
 Handles - Silver
 NBS: 25-50-95/125

Typical Doors -
 Front - Composite GRP Front Door designed in accordance with 'Secure By Design'.
 Door Type A, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120A
 Rear - Composite Door & Side Windows designed in accordance with 'Secure By Design'.
 Door Type B, Colour: RAL 7016 (Anthracite Grey)
 NBS: 25-50/120B



| Issue | Date | Issue Note | By | Check |
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Project Title
Bull Lane - Albion Road
 Location
 Bull Lane, Albion Street
 West Bromwich
 Sheet Title
Plot 5 House Type B2 Elevations
 Status

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| Drawn by pm | Date 10/03/15 | Checked by | |
| Scale at A1 1:50 | Scale at A0 1:100 | | |

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| 09 | ZZ | AP(05) | 65 | S2 | Ver/Rev |
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Job No.
Q18046
 Contractors Drawing No. (if required)

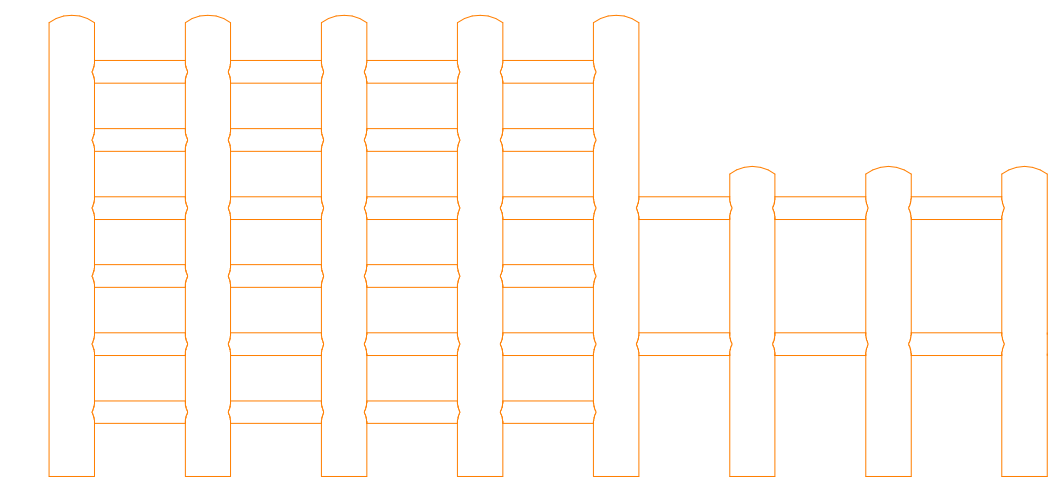
Urban Design & Building Services
 Sandwell Council House
 Fresh Street,
 Oldbury,
 B69 3DE
 Tel: 0121 569 4541



Work in Progress

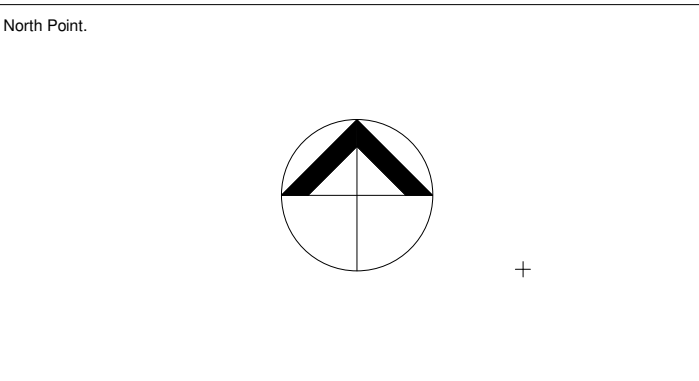


1 Albion Road - Proposed Ground Floor Plans
1:100



2 Elevation - Existing Timber Railings
1:25

Notes
The Contractor will be responsible for setting out the work.
All dimensions must be obtained or checked on the site.
Figured dimensions to be used in preference to scale.



Key Plan:

| Issue | Date | Issue Note | By | Check |
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Project Title
New Build Dwellings - Bull Lane & Albion Road

Location
Bull Lane & Albion Road
West Bromwich

Sheet Title
Albion Road Ground Floor

Station
For Comment

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| Drawn by | Date | Checked by |
| CF | 08/28/19 | |
| Scale at A1 | Scale at A3 | |
| 1:100 | 1:200 | |

Sheet Identifier:

| Zone | Level | Classification | Sheet No. | Suitability | Ver/Rev |
|------|-------|----------------|-----------|-------------|---------|
| 02 | 00 | AP(04) | 04 | S2 | |

Job No.
Q18046

Contractors Drawing No. (if required)

Urban Design & Building Services
Sandwell Council House
Fourth Street,
Oxburgh,
B89 3DE
Tel: 0121 569 4541

